



Village of Mount Horeb

138 E Main St

Mount Horeb, WI 53572

Phone (608) 437-6884/Fax (608) 437-3190

Email: mhinfo@mounthorebwi.info Website: www.mounthorebwi.info

THE PLAN COMMISSION/HISTORIC PRESERVATION COMMISSION WILL MEET IN A VIRTUAL MEETING. YOU CAN JOIN THE MEETING FROM YOUR COMPUTER, TABLET, OR SMARTPHONE AT <https://global.gotomeeting.com/join/181080997>, OR DIAL IN TO THE MEETING USING YOUR PHONE AT (224) 501-3412 ACCESS CODE 181-080-997.

PLAN COMMISSION/HISTORIC PRESERVATION COMMISSION WEDNESDAY, APRIL 22, 2020

The Plan Commission/Historic Preservation Commission of the Village of Mount Horeb will meet in a virtual meeting at 7:00pm in the Board Room of the Municipal Building, 138 E Main Street, Mount Horeb, WI. Agenda as follows:

- 1) Call to order – Roll call
- 2) Consider February 26, 2020 Plan Commission meeting minutes
- 3) Consider recommendation for final plat of Sixth Addition To Kara View Heights
- 4) Consider Village of Mount Horeb welcome sign
- 5) Conceptual presentation of proposed Casey's convenience store
- 6) Plan Commission Chair report
- 7) Village Planner report
- 8) Adjourn

A QUORUM OF THE VILLAGE BOARD/VILLAGE COMMITTEE MEMBERS MAY BE PRESENT AT THIS MEETING. ONLY NOTICED AGENDA ITEMS WILL BE ACTED ON BY THE GOVERNMENTAL BODY SPECIFIED ABOVE.

PLEASE NOTE THAT UPON REASONABLE NOTICE EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS OR SERVICES. TO REQUEST THIS SERVICE CONTACT ALYSSA GROSS, CLERK, AT (608) 437-9404.

PLAN COMMISSION/HISTORIC PRESERVATION COMMISSION
WEDNESDAY, FEBRUARY 26, 2020

The Plan Commission/Historic Preservation Commission met on the above date in the Board Room of the Municipal Building, 138 E. Main Street, Mount Horeb, WI. Chair Randy Littel called the meeting to order at 7:00pm. Present were Commissioners Destinee Udelhoven, Norb Scribner, Dave Hoffman, and Peggy Zalucha. Brenda Monroe arrived at 7:04pm. Brent Yauchler was absent. Also present were Village Administrator Nic Owen, Assistant Village Administrator Kathy Hagen, Village Planner Mike Slavney, Village Engineer Rob Wright, Delaney Mertz from the Youth In Government program, and Deputy Clerk Chrissy Kahl.

Consider January 22, 2020 Plan Commission meeting minutes: Zalucha moved, Scribner seconded to approve the January 22, 2020 minutes. Motion carried by unanimous voice vote.

AGENDA ITEMS 3, 4, 5 WERE MOVED FROM THE ORIGINAL ORDER

Consider recommendation for preliminary plat of the Sixth Addition to Kara View Heights: Developer Brian Durtschi and Mike Rochon from Full Circle Engineering presented the preliminary plat. Slavney advises a street right-of-way dedication in the area that will remain zoned as Ag on Manor Drive. Scribner moved, Zalucha seconded to recommend approval of the preliminary plat to include the area that remains zoned as Ag to have a right-of-way dedication, be conditional on a temporary turnaround within outlot 3, and to include the Village Planner and Village Engineer's comments. Motion carried by unanimous voice vote.

PUBLIC HEARING: To consider application from Kara View LLC/Brian Durtschi for a zoning change from A-1 Agriculture to R-1 Single Family Residential and Conservancy for proposed Sixth Addition to Kara View Heights: The public hearing opened at 7:29pm. Slavney gave an overview. Brian Durtschi clarified these are outlots 3 and 4. The public hearing closed at 7:30pm.

Consider recommendation for Ordinance 2020-05, "AN ORDINANCE CHANGING THE ZONING CLASSIFICATION FOR THE SIXTH ADDITION TO KARA VIEW HEIGHTS SUBDIVISION FROM A-1 AGRICULTURE TO R-1 SINGLE FAMILY RESIDENTIAL AND CONSERVANCY": Hoffman moved, Monroe seconded to recommend approval of Ordinance 2020-05. Motion carried by unanimous voice vote.

Consider Sienna Hills Subdivision a) Specific Implementation Plan for Lot 2 b) Final Plat Phase 1: Developer Rich Eberle was present and reviewed these items.

a) Specific Implementation Plan for Lot 2. Slavney reviewed his report and recommendations. Zalucha moved, Scribner seconded to find the proposed SIP and project design are fully consistent with the requirements of the zoning code except as waived by previous consensus items. Motion carried by unanimous voice vote.

b) Final Plat Phase 1. Wright reviewed his report. Wade Wyse, from Wyser Engineering, had questions about the sidewalk recommended on the west side. Hoffman moved, Scribner seconded to approve the Final Plat Phase 1. Motion carried by unanimous voice vote.

Consider Resolution 2020-04, "RESOLUTION RECOMMENDING AMENDMENT TO THE 2005 VILLAGE OF MOUNT HOREB COMPREHENSIVE PLAN, DANE COUNTY, WISCONSIN" for Wyser Properties LLC: Owner Wade Wyse presented. The building he is proposing for his business would be 4800 square feet. There were two public comments made. John DeWitt of County ID, LLC was in opposition because this is a residential subdivision. He had concerns about homes being built in the area and empty lots may be hard to sell. He also feels there are other lots available in the TIF district to build on. Mark Nortman, as representative of John DeWitt, was also in opposition as empty lots may be hard to sell with a commercial building nearby. Monroe made a motion to table this item and then rescinded the motion to allow for more discussion. Monroe moved, Hoffman seconded to table this item. Motion carried by unanimous voice vote.

PUBLIC HEARING: To consider application from Wyser Properties LLC for a zoning change for Lot 144 First Addition to Sutter's Prairie Ridge Subdivision from R-2 Two Family Residential to PD-1 Planned Development: The public hearing opened at 9:00pm. No one spoke. The public hearing closed at 9:01pm.

Consider recommendation for Ordinance 2020-04, "AN ORDINANCE CHANGING THE ZONING CLASSIFICATION OF SUTTER'S PRAIRIE RIDGE SUBDIVISION LOT 144 FROM R-2 TWO FAMILY RESIDENTIAL TO PD-1 PLANNED DEVELOPMENT": Hoffman moved, Monroe seconded to table this item. Motion carried by unanimous voice vote.

Consider 100-foot public notification area: Monroe moved, Zalucha seconded to create an Ordinance notification area of 300-feet. Motion carried by unanimous voice vote.

Plan Commission Chair Report: Littel gave the report including the Building Inspector's report.

Village Planner report: Slavney gave the report.

Adjourn: Monroe moved, Hoffman seconded to adjourn the meeting at 9:13pm. Motion carried by unanimous voice vote.

Minutes by Chrissy Kahl, Deputy Clerk

DRAFT

From: [Robert Wright](#)
To: cdi@chorus.net; [Nic Owen](#); [Kathy Hagen](#)
Cc: [Mike Slavney](#); [Michael Rochon](#)
Subject: RE: Updated Preliminary and Final Plats for Sixth Addition to Kara View Heights
Date: Monday, April 20, 2020 9:16:15 AM

Brian and Michael,

Thank you for the updated information.

We offer the following comments:

1. Stormwater management draft report
 - a. Appears to meet the intent of matching runoff rates
 - b. Verify that all grading for the Pond will fit on the platted Outlot 1 (see para. c.ii. below)
 - c. Will require full report and check lists etc.
 - i. Swale will need to be engineered to convey flow to Outlot 1
 - ii. Cross section of berm for detention basin with proper impervious liner (clay or geotextile) berm width to allow for maintenance and design of broad crested berm
 - d. Predevelopment Area names – match with Area Names in HydroCAD model in final report –
 - i. Example: 5S KARA YARD node. The Label KARA YARD appears twice in the model Post Dev. Model nodes and is listed as KARA UNDISRURBED on the W2 Post Development Map
 - e. We still will require a buffer strip along the back lot lines of 155 and 156 due to numerous concerns raised by the adjacent property owners.
1. P-Plat
 - a. Buffer strip noted on the plat (covenant)
 - b. Notes relating to all impervious surface water and roof runoff to directed to Walter Court for Lots 155 thru 157.
2. Final Plat
 - a. Buffer strip noted on the plat (covenant)
 - b. Notes relating to all impervious surface water and roof runoff to directed to Walter Court for Lots 155 thru 157.
3. To Be completed:
 - a. Final Approved Engineering Drawings
 - b. Sewer and Water extension permits
 - c. WI DNR Review and Approval of SW and EC Plan
 - d. Developer's Agreement
 - e. Any Fees for connections or recapture paid.

Having said this we would support the contingent approval of the P-Plat and Final Plat by the Village with the previous items being completed prior to recording.

ROBERT WRIGHT
PE

PRELIMINARY PLAT OF SIXTH ADDITION TO KARA VIEW HEIGHTS

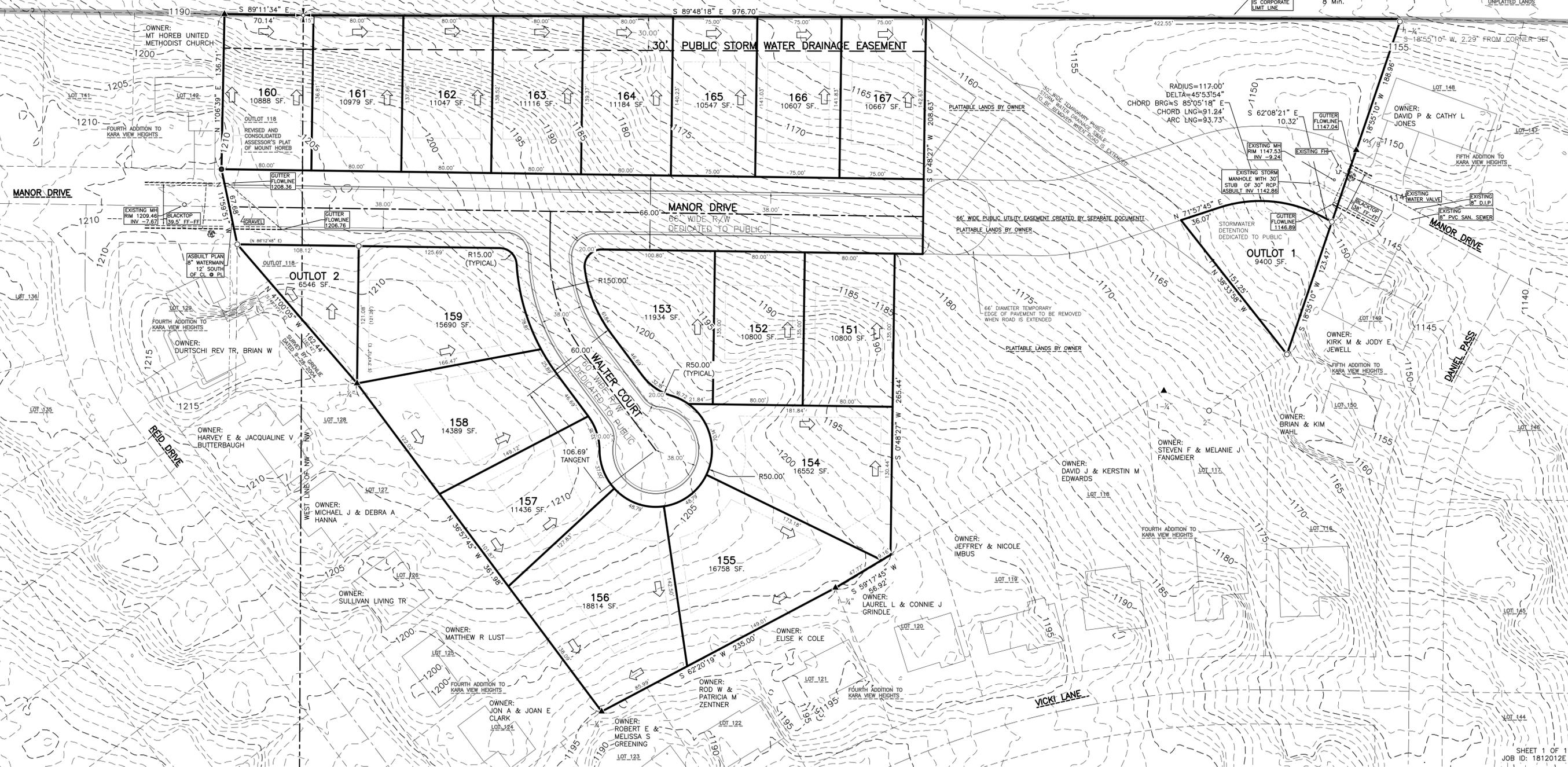
Being part of Outlot 118, Revised and Consolidated Assessor's Plat, Village of Mount Horeb, located in the NE 1/4 of Section 12, T6N, R6E and in the Fractional NW 1/4 of the NW 1/4 of Section 7, T6N, R7E, Village of Mount Horeb, Dane County, Wisconsin, containing 6.939 acres of land and described as follows:

BEGINNING at the NW corner of said Section 7; thence S 89°48'18" E, 976.70' along the north line of the NW 1/4 of said Section 7; thence S 18°55'10" W, 312.43' along the west line of the 5th Addition to Kara View Heights; thence N 39°33'58" W, 151.25'; thence N 71°57'45" E, 36.07' to the beginning of a curve, concave to the south, having a central angle of 45°53'54", a radius of 117.00', and whose long chord bears S 85°05'18" E, 91.24'; thence along the arc of said curve 93.73'; thence S 62°08'21" E, 10.32'; thence N 18°55'10" E, 188.96' along the west line of the 5th Addition to Kara View Heights; thence N 89°48'18" W, 422.55' along the north line of the NW 1/4 of said Section 7; thence S 0°48'27" W, 208.63'; thence N 89°11'33" W, 24.89'; S 0°48'27" W, 265.44'; thence S 59°17'45" W, 56.92' along the north line of the 4th Addition to Kara View Heights; thence S 62°20'19" W, 235.00' along the north line of the 4th Addition to Kara View Heights; thence N 36°57'45" W, 361.98' along the east line of the 4th Addition to Kara View Heights; thence N 41°00'05" W, 162.44'; thence N 11°59'51" W, 67.68' along the east line of the 4th Addition to Kara View Heights; thence N 1°06'39" E, 136.71' along the east line of the 4th Addition to Kara View Heights; thence S 89°11'34" E, 70.14' along the north line of the NE 1/4 of said Section 12 to the POINT OF BEGINNING, containing 6.622 acres, more or less.

SURVEYOR'S CERTIFICATE:

I hereby certify that I have surveyed and mapped the parcel of land hereon and that I am in full compliance with the provisions of Chapter AE-7 of the Wisconsin Administrative Code and that this map is a correct representation of all existing land divisions and features and that I have fully complied with the provisions of Mount Horeb Ordinance Chapter 18 to the best of my knowledge and belief.

Michael G. Rochon
Michael G. Rochon, S-2767
Date 4/16/2020



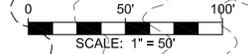
OWNER:
KARA VIEW LLC
515 REID DRIVE
MOUNT HOREB, WI 53572

DEVELOPER:
BRIAN DURTSCHI
515 REID DRIVE
MOUNT HOREB, WI 53572

LAND SURVEYOR:
HALVERSON LAND SURVEYING
JOHN M. HALVERSON
6381 COON ROCK ROAD
ARENA, WI 53503

ENGINEER:
FULL CIRCLE ENGINEERING & SURVEYING
MICHAEL G. ROCHON
3462 SPRING VALLEY ROAD
DODGEVILLE, WI 53533

BEARINGS ARE REFERENCED TO THE DANE COUNTY COORDINATE SYSTEM
ELEVATIONS ARE REFERENCED TO NORTH AMERICAN VERTICAL DATUM (NAVD88)



LEGEND:

- 1-1/4" X 18" X 4-3 LB./LF. REBAR SET
- ▲ REBAR FOUND, SIZE INDICATED
- 1" IRON PIPE FOUND OR SIZE INDICATED
- ⊕ SECTION CORNER (MONUMENT AND ALL TIES FOUND)
- ⊞ RECORDED AS
- FLOW ARROW
- ⊞ SETBACK LINE

- Notes:
- ZONING OF THIS PARCEL IS CURRENTLY A-1 AG. LOTS 151-167 & OUTLOT 2 ARE TO BE REZONED R-1 RESIDENTIAL. OUTLOT 1 IS TO BE REZONED CONSERVANCY.
 - OUTLOT 1, MANOR DRIVE & WALTER COURT ARE TO BE DEDICATED TO THE PUBLIC.
 - ZONING OF NEIGHBORING PARCELS WEST & SOUTH ARE R-1 RESIDENTIAL. ZONING OF LAND TO EAST IS A-1. ZONING OF LAND TO NORTH IS RURAL ZONING AT-35, AGRICULTURAL TRANSITION, Rezone Number: DCPREZ-2019-00023
 - ARROWS INDICATE THE DIRECTION OF DRAINAGE. DRAINAGE PATTERNS SHALL BE MAINTAINED BY THE LOT OWNER, UNLESS WRITTEN APPROVAL FOR MODIFICATION IS OBTAINED FROM THE VILLAGE.
 - LOTS 155-157 WILL BE REQUIRED BY RESTRICTIVE COVENANT TO BUILD FIRST FLOOR HOME ELEVATIONS ABOVE THE FLOW LINE OF THE CURB AND DRAIN ALL DRIVEWAY AND ROOF WATER TO THE STREET. ANY IMPERVIOUS AREA ADDED TO THE BACK YARDS OF 155-157 WILL HAVE TO BE DRAINED TO AN APPROPRIATELY SIZED RAIN GARDEN AUTHORIZED BY THE VILLAGE.
 - DIGGERS HOTLINE TICKET #20193716298, SEPTEMBER 17, 2019 USED FOR TEST PIT EXCAVATION.
 - CONTOURS ARE DERIVED FROM LIDAR 2017 DATA.
 - THE NORTH LINE OF THIS SUBDIVISION IS THE CORPORATE LIMITS OF THE VILLAGE OF MOUNT HOREB. LANDS NORTH ARE TOWN OF BLUE MOUNDS AND TOWN OF SPRINGDALE AS NOTED. LANDS SOUTH ARE VILLAGE OF MOUNT HOREB.
 - EXISTING ADJACENT STRUCTURES SHOWN FROM AERIAL PHOTO.

LOT MINIMUMS:
25' Frontage
30' Back
40' Side
20' Total, 8 Min.

STREET CENTERLINE LENGTHS:
Note: Lane (CL-CL to PL) = 160'
Manor Drive (PL to PL) = 100'
Walter Court (CL-CL to END OF CURB) = 275'

SIXTH ADDITION TO KARA VIEW HEIGHTS

Part of Outlot 118, Revised and Consolidated Assessor's Plat, Village of Mount Horeb, located in the NE 1/4 of the NE 1/4 of Section 12, T6N, R6E and in the Fractional NW 1/4 of the NW 1/4 of Section 7, T6N, R7E, Village of Mount Horeb, Dane County, Wisconsin.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration

Public Storm Water Drainage Easements:
Creation of Easement Rights: A permanent easement over, across and within the Easement Area is established, memorialized, reserved by, granted, conveyed, transferred and assigned to Village of Mount Horeb for the uses and purposes hereinafter set forth. The Easement Area may be used by Village of Mount Horeb for public storm water drainage purposes. Village of Mount Horeb and its employees, agents and contractors shall have the right to construct, install, maintain, operate, repair, replace and reconstruct the Storm Water Drainage Facilities within the Easement Area. Village of Mount Horeb shall have the further right of ingress and egress to and from the Easement Area in order to exercise its rights and privileges hereunder, and to cut and remove trees, vegetation and other impediments in the Easement Area which may obstruct or interfere with the actual or potential use of the Easement Area for the foregoing purposes.
Property Restoration: Village of Mount Horeb shall promptly restore the area affected by the use of the Easement Area by or on behalf of the Village of Mount Horeb as provided herein. Following completion of any excavation work, Village of Mount Horeb shall promptly restore the area affected by the work to the original grade and surface condition including the repair or replacement of pavement, concrete and turf.
Limitations on Use of Easement Area: The owner of the Property shall have the right to use the Easement Area for any purpose, provided such use shall not interfere with the easement rights of the Village of Mount Horeb hereunder. No buildings or structures or fences unrelated to the Storm Water Drainage Facilities shall be constructed in and no grade change shall be made to the Easement Area without the written consent of the Village of Mount Horeb's Village Engineer.
Binding Effect: This Easement shall run with the land described herein and shall be binding upon the owners of the Property, and their successors in interest.
Release of Rights to Easements Created by Plat: Any release of rights that were placed on platting land which was required by a public body or which names a public body or public utility as grantee shall be released by recording a separate easement release document with the Dane County Register of Deeds in accordance with ss236.23.

Public Utility Easements:
Creation of Easement Rights: A permanent easement over, across and within the Easement Area is established, memorialized, reserved by, granted, conveyed, transferred and assigned to the Village of Mount Horeb, and all other public utility companies registered to do business in the Village of Mount Horeb, for the transmission of electrical, gas, telephone, cable, communication, video, and information services, together with the right of ingress and egress across the Easement Areas for the purpose of access to and use of these facilities. The Village of Mount Horeb, and all other public utility companies registered to do business in the Village of Mount Horeb, and their employees, agents and contractors shall have the right to construct, install, maintain, operate, repair, replace and reconstruct the utility facilities within the Easement Area. Village of Mount Horeb, and all other public utility companies registered to do business in the Village of Mount Horeb, shall have the further right of ingress and egress to and from the Easement Area in order to exercise its rights and privileges hereunder, and to cut and remove trees, vegetation and other impediments in the Easement Area which may obstruct or interfere with the actual or potential use of the Easement Area for the foregoing purposes.
Property Restoration: Village of Mount Horeb shall promptly restore the area affected by any pavement, concrete or turf located within the Easement Area and/or the Property as a result of the use of the Easement Area by or on behalf of the Village of Mount Horeb as provided herein. Following completion of any excavation work, Village of Mount Horeb shall promptly restore the area affected by the work to the original grade and surface condition including the repair or replacement of pavement, concrete and turf.
Limitations on Use of Easement Area: The owner of the Property shall have the right to use the Easement Area for any purpose, provided such use shall not interfere with the easement rights of the Village of Mount Horeb, and all other public utility companies registered to do business in the Village of Mount Horeb, hereunder. No buildings or structures or fences unrelated to the public utility facilities shall be constructed in and no grade change shall be made to the Easement Area without the written consent of the Village of Mount Horeb, and all other public utility companies registered to do business in the Village of Mount Horeb, having rights to the easement area.
Binding Effect: This Easement shall run with the land described herein and shall be binding upon the owners of the Property, and their successors in interest.
Release of Rights to Easements Created by Plat: Any release of rights that were placed on platting land which was required by a public body or which names a public body or public utility as grantee shall be released by recording a separate easement release document with the Dane County Register of Deeds in accordance with ss236.23.

LIMITED LIABILITY COMPANY OWNERS CERTIFICATE OF DEDICATION

Kara View, LLC., a Limited Liability Company duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said Company caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on the plat.

Kara View, LLC. does further certify that this plat is required by S. 236.10 or S. 236.12 to be submitted to the following for approval or objection:

- VILLAGE OF MOUNT HOREB
- DEPARTMENT OF ADMINISTRATION

WITNESS the hand and seal this _____ day of _____, 2020.

BRIAN DURTSCHI - OWNER

VILLAGE BOARD RESOLUTION

RESOLVED, that the plat of SIXTH ADDITION TO KARA VIEW HEIGHTS in the Village of Mount Horeb, Wisconsin, is hereby approved by the Village Board.

Date Approved _____ Randy Littell - Village President

Date Signed _____ Randy Littell - Village President

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Mount Horeb.

Alyssa Gross - Village Clerk

STATE OF WISCONSIN)
 DANE COUNTY) SS

Personally came before me this _____ day of _____, 2020, the name Brian Durtschi to me known to be the persons who executed the foregoing instrument and acknowledged the same.

NOTARY PUBLIC, _____, WI.
 MY COMMISSION EXPIRES _____

CERTIFICATE OF DANE CO. REGISTER OF DEEDS

Received for recording this _____ day of _____, 2020 at _____ o'clock _____, and recorded in Volume _____ of Plats, on Page(s) _____

Dane County Register of Deeds

CERTIFICATE OF THE VILLAGE TREASURER

I, Amy Hall, being the duly appointed, qualified, and acting treasurer of the Village of Mount Horeb, do hereby certify that in accordance with the records in my office, there are no unpaid taxes or special assessments as of _____ affecting any of the land included in the plat of SIXTH ADDITION TO KARA VIEW HEIGHTS.

Amy Hall - Village Treasurer Date _____

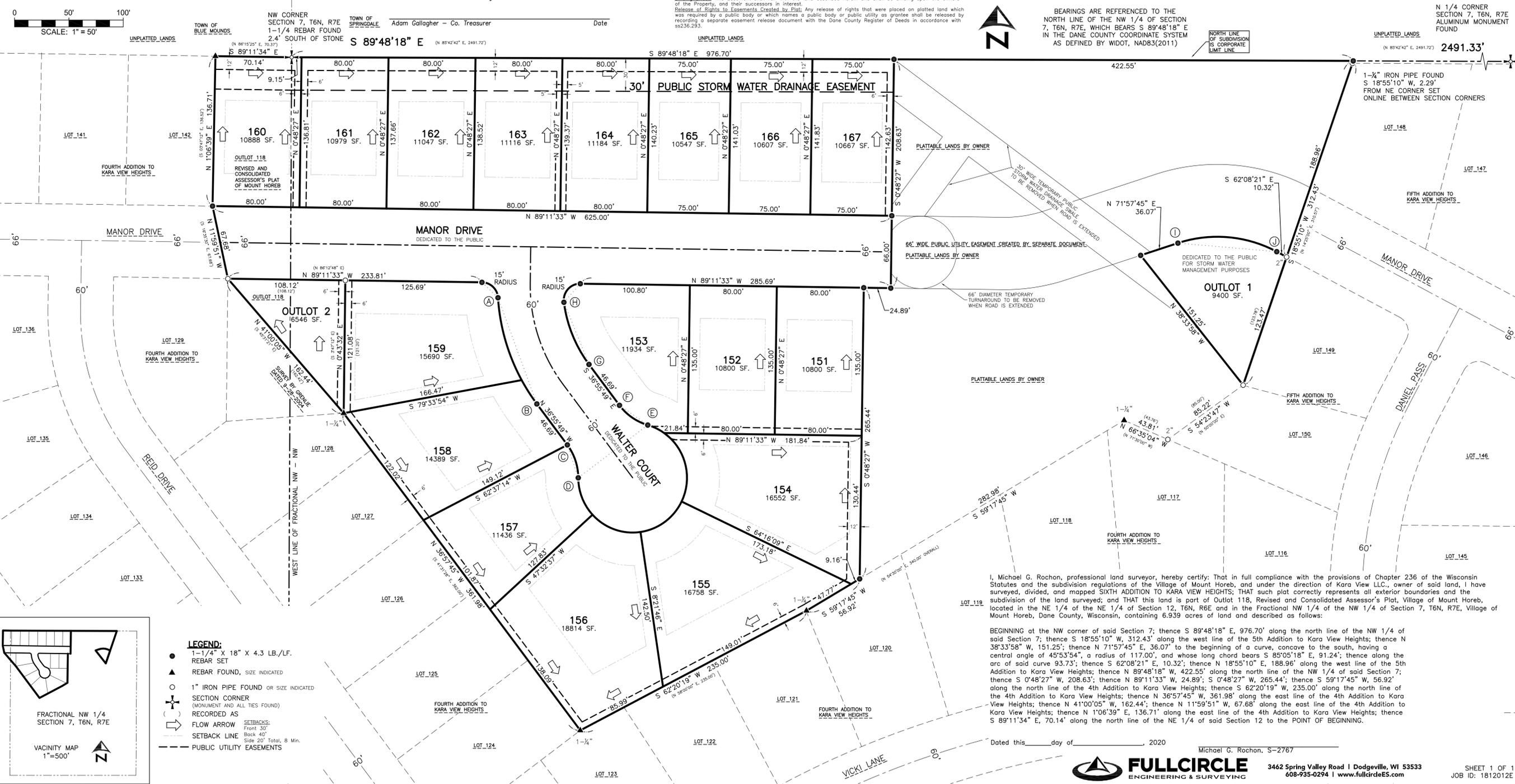
Curve Table							
CURVE	LOT	Length	Radius	Delta	Chord Direction	Cd. Lg.	Tangent In / Tangent Out
A-B	159-158	104.70'	180.00'	33°19'34"	S 20°16'02" E	103.23'	S 3°36'15" E / S 36°55'49" E
	159	78.81'	180.00'	25°05'05"	S 16°08'48" E	78.18'	
	158	25.89'	180.00'	8°14'29"	S 32°48'35" E	25.87'	
C-D	157	32.18'	50.00'	36°52'12"	S 18°29'43" E	31.62'	S 36°55'49" E / S 0°03'37" E
D-E	157-153	221.43'	50.00'	25°34'24"	N 53°04'11" E	80.00'	S 0°03'37" E / N 73°48'01" W
	157	37.00'	50.00'	42°23'46"	S 21°15'30" E	36.16'	
	156	48.79'	50.00'	55°54'23"	S 70°24'35" E	46.87'	
	155	48.79'	50.00'	55°54'23"	N 53°41'02" E	46.88'	
	154	70.14'	50.00'	80°22'33"	N 14°27'26" W	64.53'	
	153	16.71'	50.00'	19°09'19"	N 64°13'21" W	16.64'	
E-F	153	32.18'	50.00'	36°52'12"	N 55°21'55" W	31.62'	N 73°48'01" W / N 36°55'49" W
G-H	153	61.84'	120.00'	29°31'28"	N 22°10'05" W	61.15'	N 36°55'49" W / N 7°24'21" W
I-J	OUTLOT	93.73'	117.00'	45°53'54"	S 85°05'18" E	91.24'	N 71°57'45" E / S 62°08'21" E

- Notes:
- ARROWS INDICATE THE DIRECTION OF DRAINAGE. DRAINAGE PATTERNS SHALL BE MAINTAINED BY THE LOT OWNER, UNLESS WRITTEN APPROVAL FOR MODIFICATION IS OBTAINED FROM THE VILLAGE.
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 - THE NORTH LINE OF THIS SUBDIVISION IS THE CORPORATE LIMITS OF THE VILLAGE OF MOUNT HOREB. LANDS NORTH ARE TOWN OF BLUE MOUNDS AND TOWN OF SPRINGDALE AS NOTED. LANDS SOUTH ARE VILLAGE OF MOUNT HOREB.

CERTIFICATE OF COUNTY TREASURER

I, Adam Gallagher, being the duly elected, qualified, and acting treasurer of the County of Dane, do hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments as of _____ affecting any of the land included in the plat of Sixth Addition to Kara View Heights

Adam Gallagher - Co. Treasurer Date _____



BEARINGS ARE REFERENCED TO THE NORTH LINE OF THE NW 1/4 OF SECTION 7, T6N, R7E, WHICH BEARS S 89°48'18" E IN THE DANE COUNTY COORDINATE SYSTEM AS DEFINED BY WIDOT, NAD83(2011)

I, Michael G. Rochon, professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Mount Horeb, and under the direction of Kara View LLC., owner of said land, I have surveyed, divided, and mapped SIXTH ADDITION TO KARA VIEW HEIGHTS; THAT such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and THAT this land is part of Outlot 118, Revised and Consolidated Assessor's Plat, Village of Mount Horeb, located in the NE 1/4 of the NE 1/4 of Section 12, T6N, R6E and in the Fractional NW 1/4 of the NW 1/4 of Section 7, T6N, R7E, Village of Mount Horeb, Dane County, Wisconsin, containing 6.939 acres of land and described as follows:

BEGINNING at the NW corner of said Section 7; thence S 89°48'18" E, 976.70' along the north line of the NW 1/4 of said Section 7; thence S 18°55'10" W, 312.43' along the west line of the 5th Addition to Kara View Heights; thence N 38°33'58" W, 151.25'; thence N 71°57'45" E, 36.07' to the beginning of a curve, concave to the south, having a central angle of 45°53'54", a radius of 117.00', and whose long chord bears S 85°05'18" E, 91.24'; thence along the arc of said curve 93.73'; thence S 62°08'21" E, 10.32'; thence N 18°55'10" E, 188.96' along the west line of the 5th Addition to Kara View Heights; thence N 89°48'18" W, 422.55' along the north line of the NW 1/4 of said Section 7; thence S 0°48'27" W, 208.63'; thence N 89°11'33" W, 24.89'; S 0°48'27" W, 265.44'; thence S 59°17'45" W, 56.92' along the north line of the 4th Addition to Kara View Heights; thence S 62°20'19" W, 235.00' along the north line of the 4th Addition to Kara View Heights; thence N 36°57'45" W, 361.98' along the east line of the 4th Addition to Kara View Heights; thence N 41°00'05" W, 162.44'; thence N 11°59'51" W, 67.68' along the east line of the 4th Addition to Kara View Heights; thence N 1°06'39" E, 136.71' along the east line of the 4th Addition to Kara View Heights; thence S 89°11'34" E, 70.14' along the north line of the NE 1/4 of said Section 12 to the POINT OF BEGINNING.

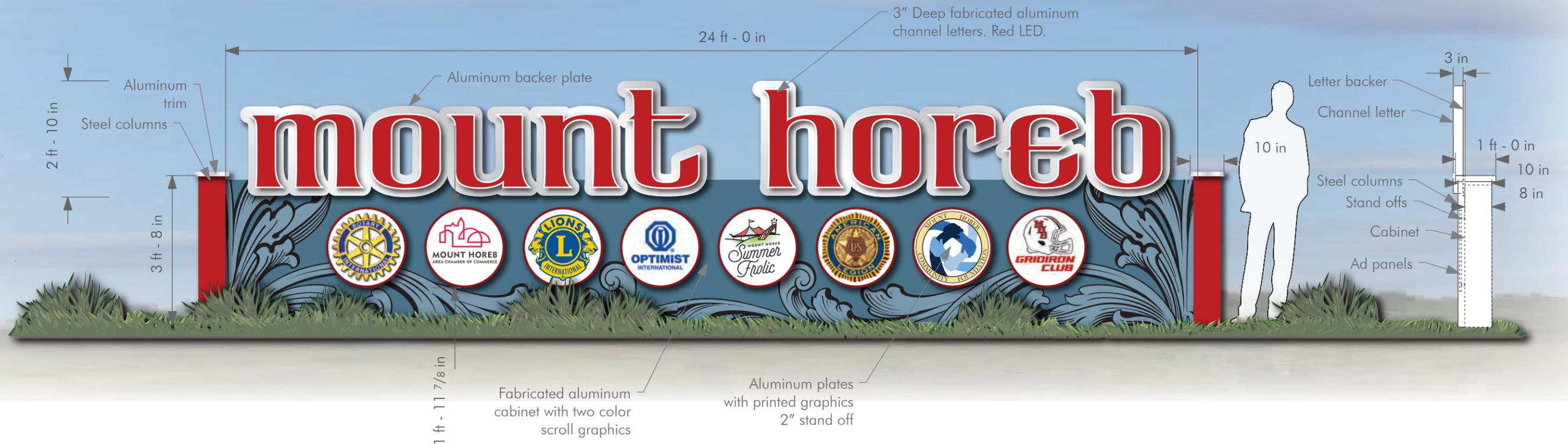
Dated this _____ day of _____, 2020

Michael G. Rochon, S-2767



3462 Spring Valley Road | Dodgeville, WI 53533
 608-935-0294 | www.fullcircleES.com

SHEET 1 OF 1
 JOB ID: 1812012E



- Matthews Satin-PMS 5405 (Cabinet)
- Matthews Satin-PMS 5425 (Cabinet graphic)
- Matthews Satin-Black (Cabinet graphic)
- Matthews Satin Metallic -Brushed Aluminum (Letter Backer>Returns/Accents)
- Matthews Satin-to match 3M Translucent-RED (Columns/Ad Panels)

All ad panel graphics to be digitally printed per logo colors

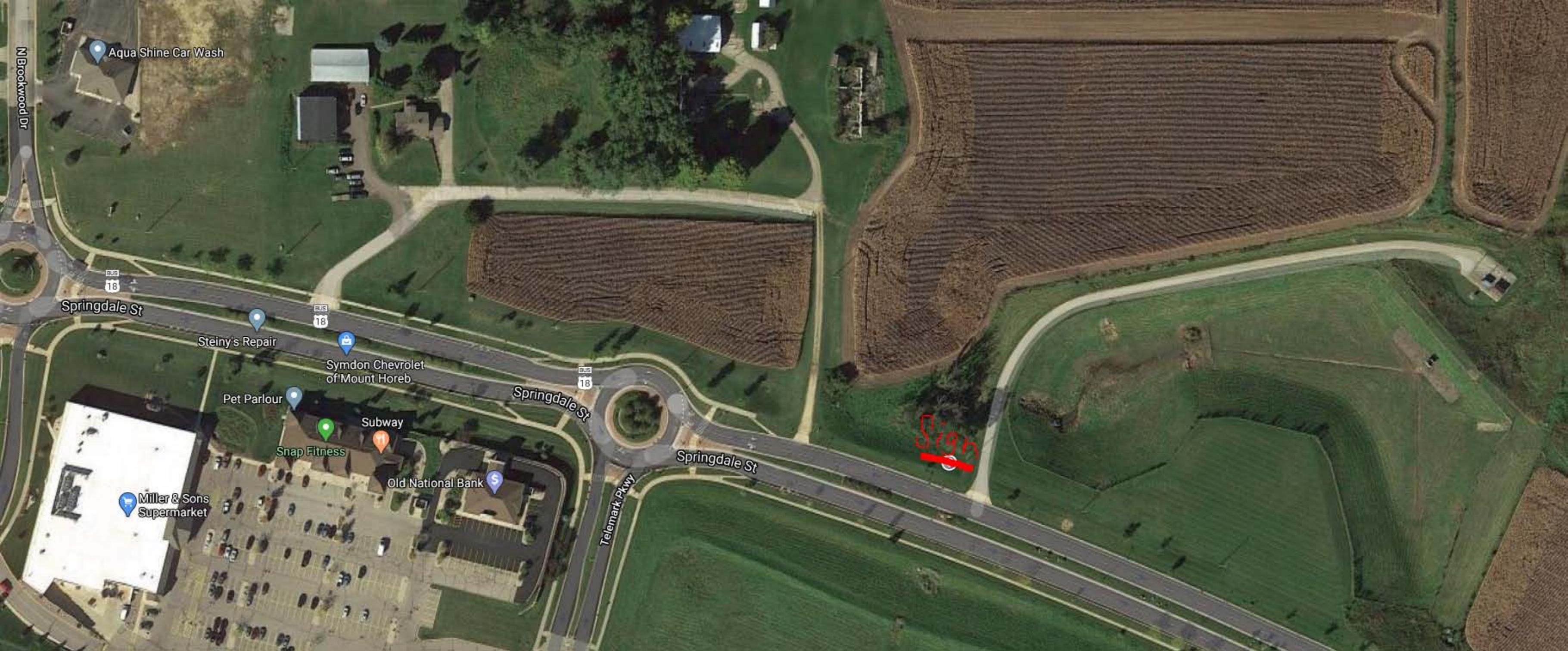


CUSTOMER APPROVAL: _____ DATE: _____ LANDLORD APPROVAL: _____ DATE: _____

By signing this approval you are hereby authorizing Sign Art Studio LLC to proceed with the work as described. Any deviation from these specifications will become the customer's financial responsibility.

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SHEET
GS-1



Aqua Shine Car Wash

N Brookwood Dr

BUS 18

Springdale St

Steiny's Repair

BUS 18

Symdon Chevrolet of Mount Horeb

BUS 18

Springdale St

Pet Parlour

Subway

Snap Fitness

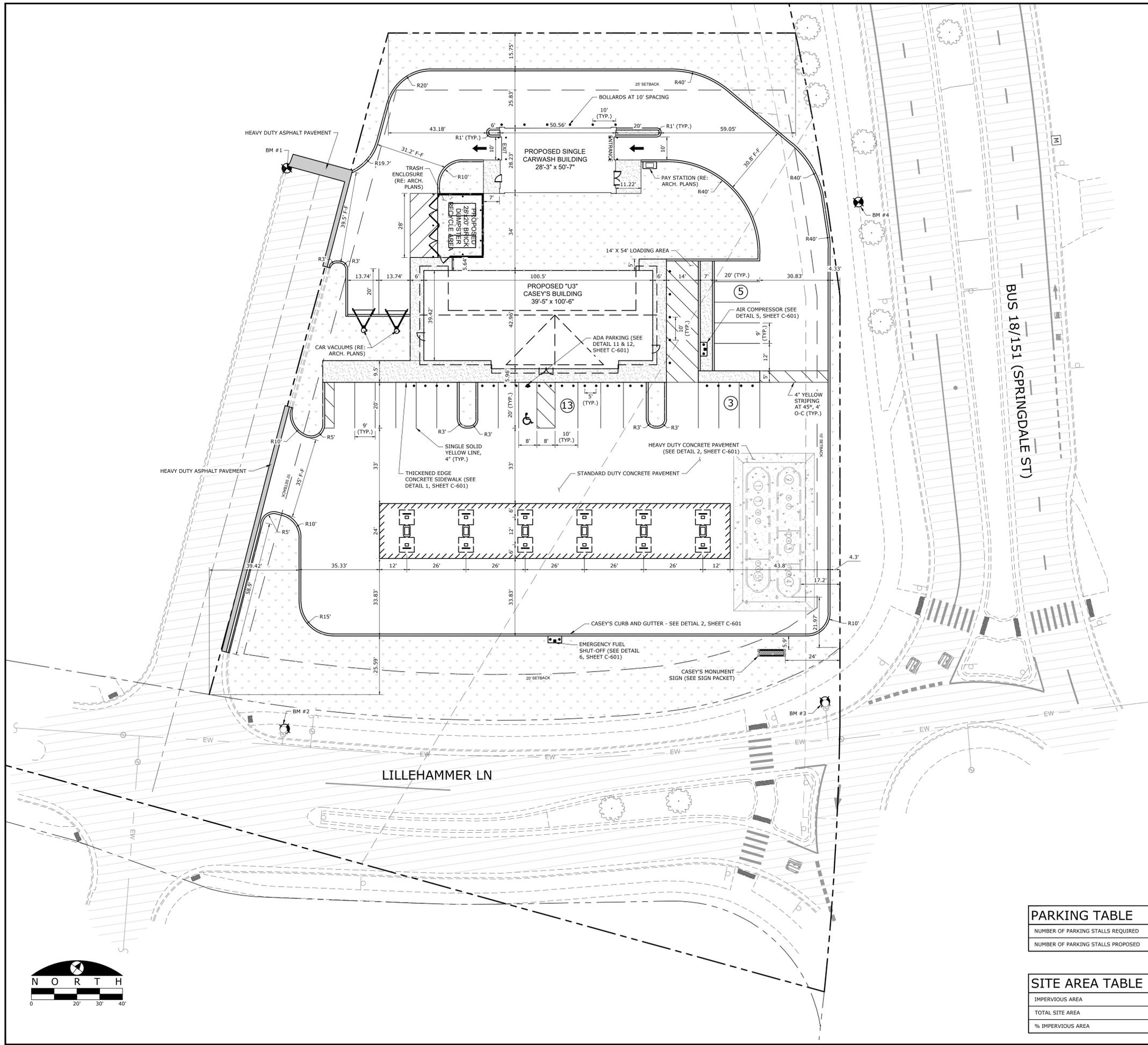
Old National Bank

Springdale St

Telemark Pkwy

Miller & Sons Supermarket

Sign



LEGEND

- PROPERTY LINE
- LOT LINE
- - - - - EXISTING RIGHT-OF-WAY
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- PROPOSED FENCE (ORNAMENTAL/WOODEN)
- PROPOSED FENCE (CHAIN LINK)
- ◆ LIGHT POLE AND FIXTURE
- ♿ PROPOSED ADA PARKING SPACE
- ⑫ NUMBER OF PROPOSED PARKING SPACES IN A ROW
- ▭ PROPOSED PARKING STALLS
- ▭ PROPOSED CONCRETE SIDEWALK
- ▭ PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- ▭ PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- ▭ EXISTING ASPHALT PAVEMENT
- ▭ PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- ▭ PROPOSED TURF AREA

LAYOUT NOTES

1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
 2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
 3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
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 5. COORDINATE WORK WITHIN EACH ROW WITH THE VILLAGE OF MOUNT HOREB, WI. TRAFFIC CONTROL SHALL CONFORM TO ALL APPLICABLE STANDARDS FOR WORK WITHIN THE R.O.W.
 6. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
 7. ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
 8. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
 9. ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
 10. FOR REQUIRED PAVEMENT REMOVAL ADJACENT TO THE CURB AND GUTTER REMOVAL WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT SHALL BE UTILIZED AND SHALL NOT BE LESS THAN 2' IN WIDTH.
- FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER COURSE TO WISDOT STANDARDS
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.

BENCHMARKS

DESCRIPTION	ELEVATION (USGS)
BENCHMARK 1 X-CUT ON ACCESS ROADWAY CURB, APPROXIMATELY 282' NORTH AND 15' WEST OF CL OF LILLEHAMMER LANE	1182.53
BENCHMARK 2 TOP BURY BOLT ON FIRE HYDRANT AT NE CORNER OF ACCESS ROADWAY AND LILLEHAMMER LN	1192.68
BENCHMARK 3 TOP BURY BOLT ON FIRE HYDRANT AT NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST	1187.73
BENCHMARK 4 X CUT ON SIDEWALK IN WEST US-18/151 ROW, APPROXIMATELY 75' SOUTH OF NE PROPERTY CORNER	1181.37

PARKING TABLE

NUMBER OF PARKING STALLS REQUIRED	14 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	21 (1 - A.D.A.)

SITE AREA TABLE

IMPERVIOUS AREA	48,484 SF (1.11 AC)
TOTAL SITE AREA	69,159 SF (1.59 AC)
% IMPERVIOUS AREA	70.1%

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303
www.arcdesign.com
Design Firm License No. 194-001334

CASEY'S GENERAL STORE - MOUNT HOREB, WI 19136

PROJECT LOCATION & OWNER
NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST
MOUNT HOREB, WI 53572
CASEY'S MARKETING COMPANY
ONE CONVENIENCE BLVD
ANKENY, IA 50021
JAMES VILMARIN
(515) XXX-XXXX

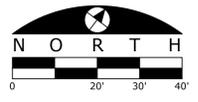
DRAWN BY: KG
CHECKED BY: LND
DATE: []/ []/ []

FOR CONSTRUCTION:
1.
2.
3.
4.
5.
6.
7.
8.

FOR REVIEW:
1.
2.
3.
4.
5.
6.

LAYOUT PLAN

C-101





Casey's U3 Style Building

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT, SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. THESE IMAGES ARE NOT INTENDED FOR ENGINEERING PURPOSES. RED LEONARD ASSOCIATES IS NOT RESPONSIBLE FOR ANY DIMENSIONS LISTED ON THE ILLUSTRATIONS PROVIDED

RLAtechnology.com
513-574-9500





FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



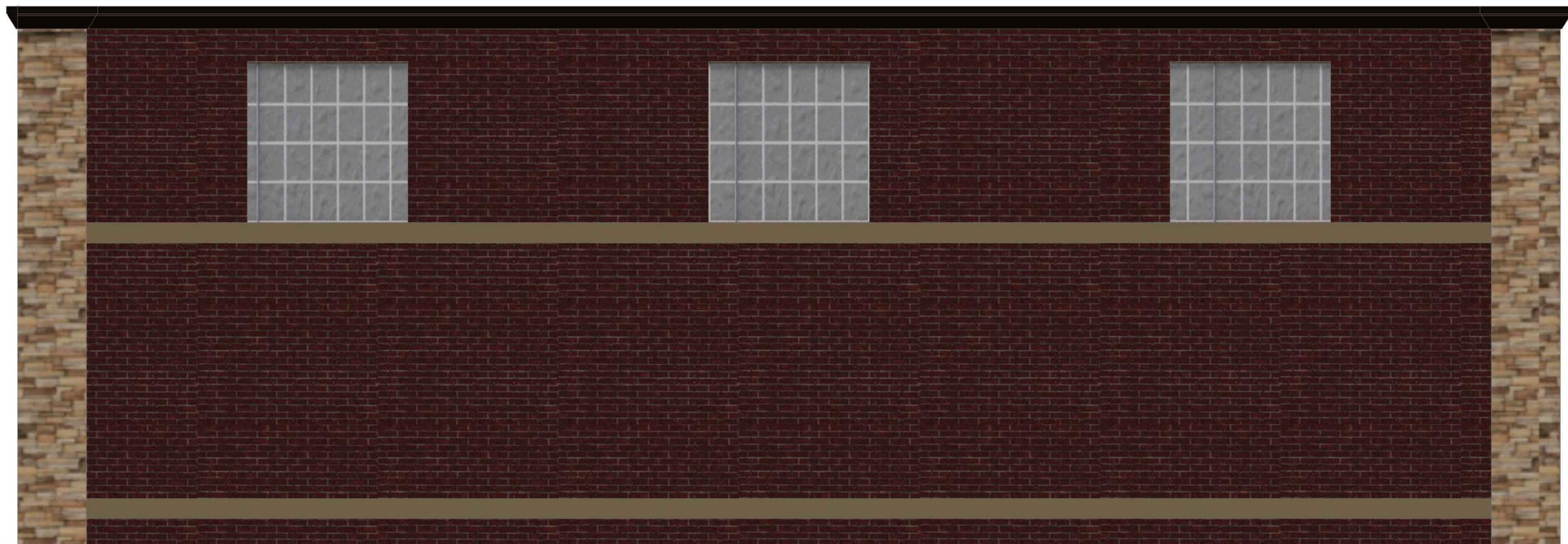
BACK ELEVATION



LEFT ELEVATION



FRONT ELEVATION

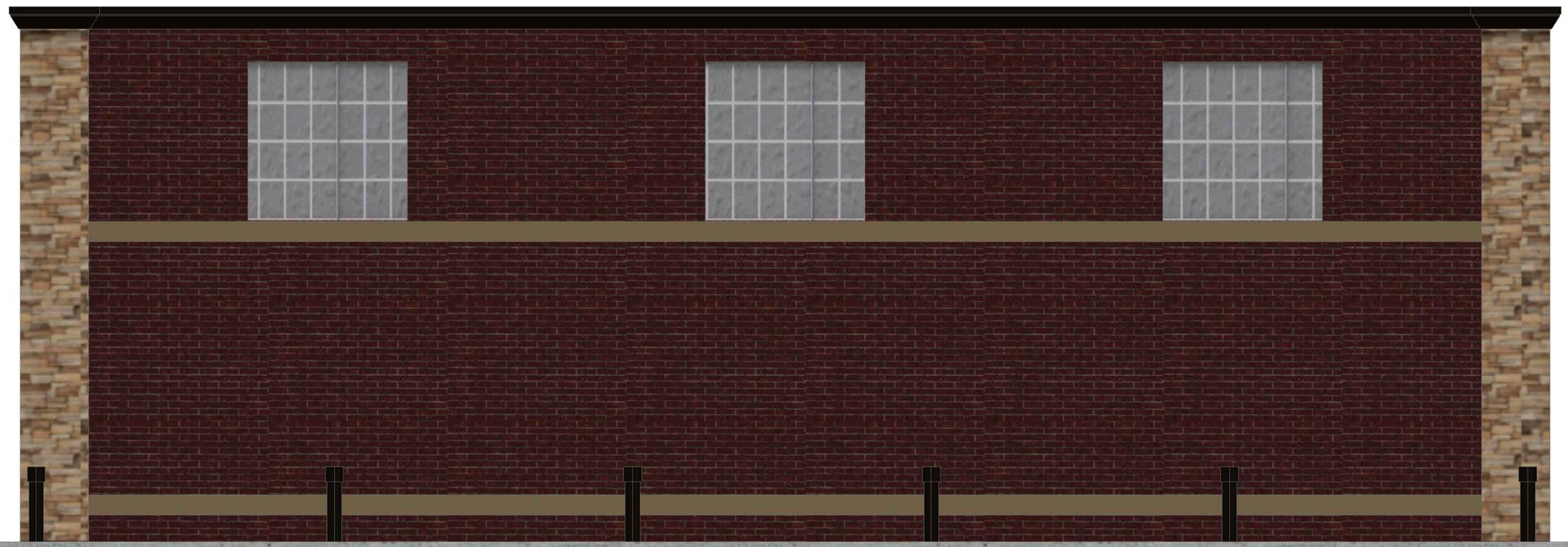


LEFT ELEVATION





REAR ELEVATION



RIGHT ELEVATION



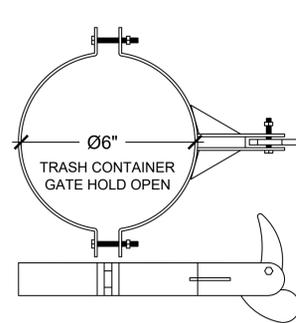
General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:

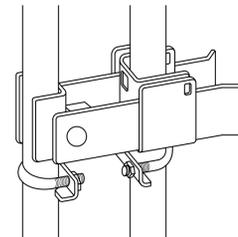
G-001 FOR GENERAL PROJECT NOTES
AL101 FOR GENERAL SITE PLAN

Construction Notes

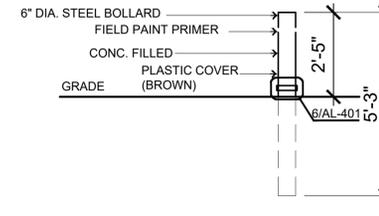
- 1) ALL DOMES ON FENCE POSTS ARE TO BE FASTENED SO THAT THEY CAN NOT BE REMOVED.
- 2) VERIFY SCREENING WITH LOCAL AUTHORITY.
- 3) CONTRACTOR TO PRIME ALL 6" BOLLARDS PRIOR TO FINISHED PAINT COAT.
- 4) DUMPSTER ENCLOSURE WALLS WILL BE 4" BLOCK PURCHASED BY CONTRACTOR



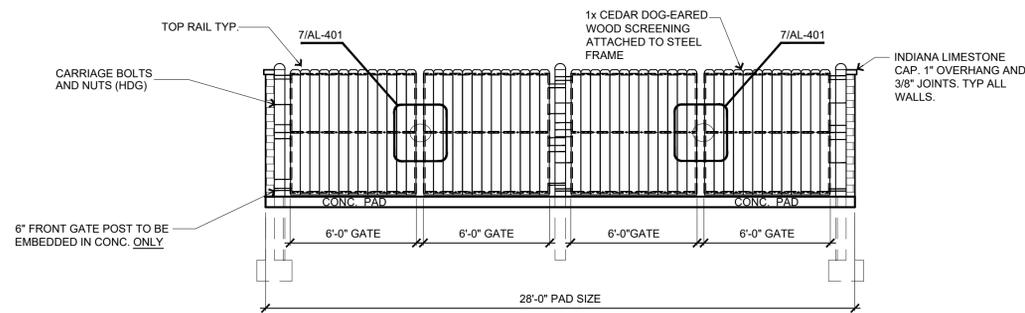
6 Gate Open Holder
No Scale



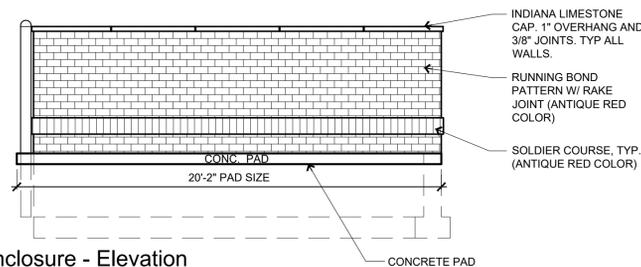
7 Commercial Double Gate Latch Detail
No Scale



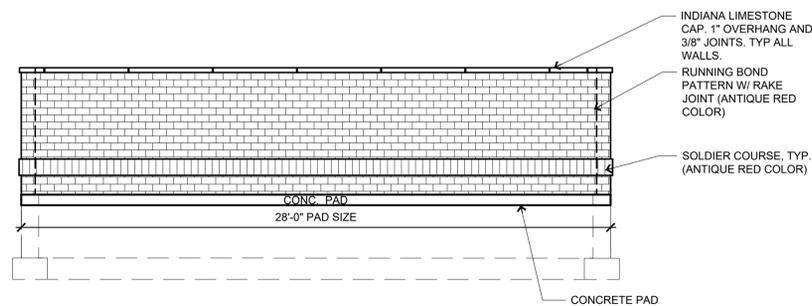
8 Bollard Detail
No Scale



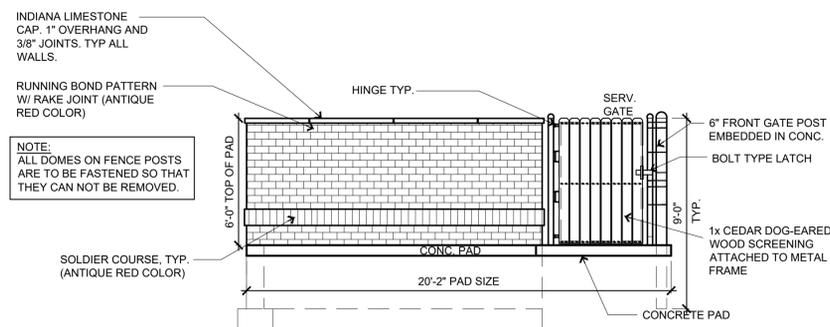
5 Dumpster Enclosure - Elevation
1/4" = 1'-0"



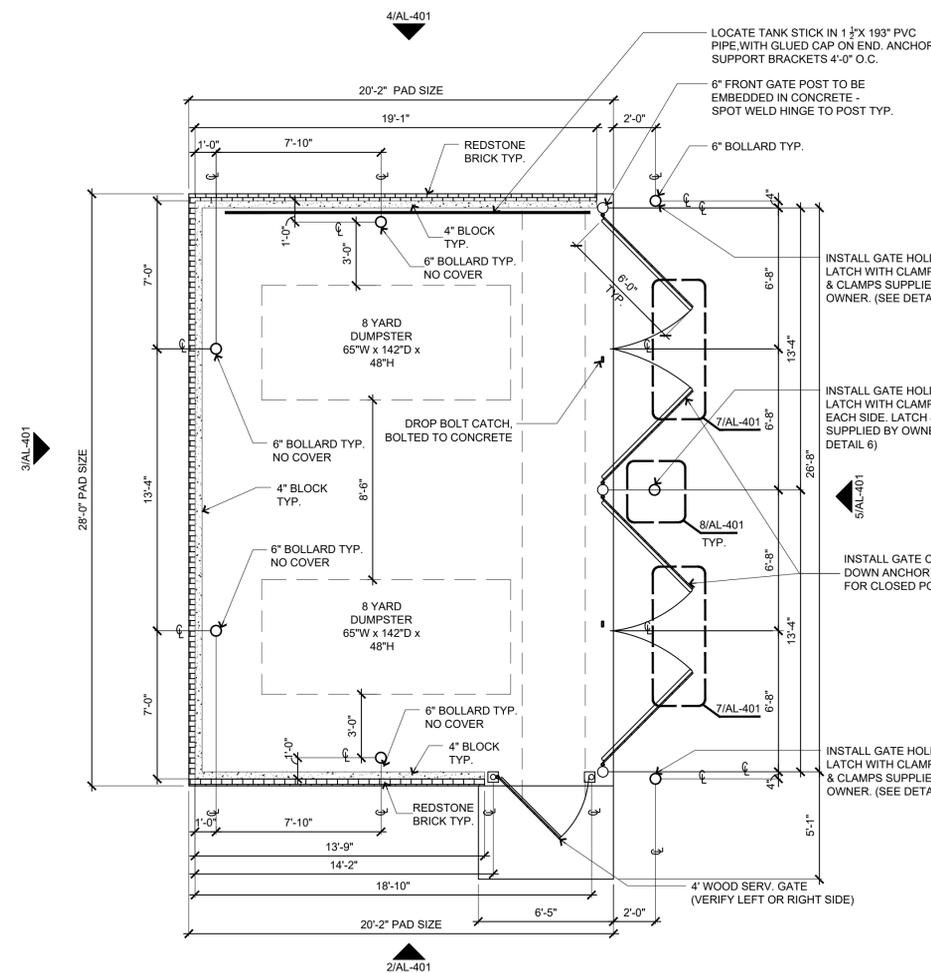
4 Dumpster Enclosure - Elevation
1/4" = 1'-0"



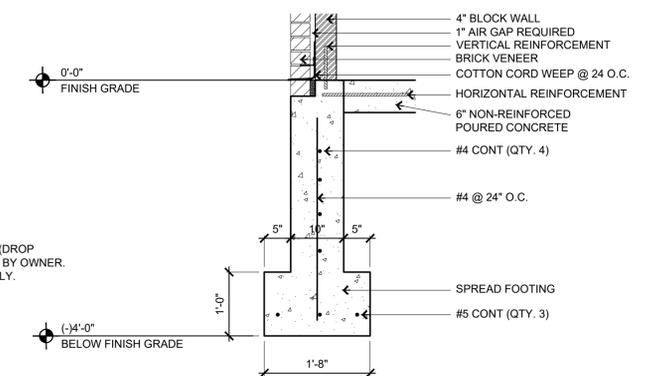
3 Dumpster Enclosure - Elevation
1/4" = 1'-0"



2 Dumpster Enclosure - Elevation
1/4" = 1'-0"



1 Dumpster Plan
1/4" = 1'-0"



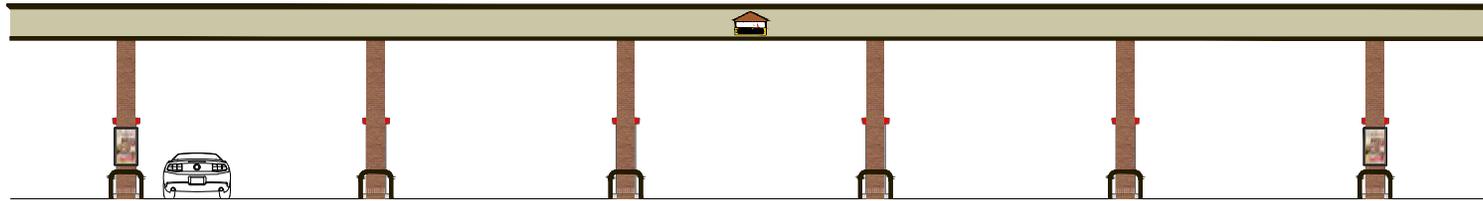
9 Spread Footing Detail
No Scale

Brick Enclosure w/Wood Gates

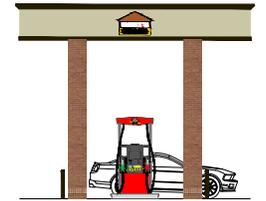
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100		
PROJECT: 2020 Standard Site Details	PUBLISHED: 01/14/20 REVISIONS: 03/20/20	DRAWING INFORMATION: DUMPSTER ENCLOSURE
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: B. RAHN	CHECKED BY:	AL-401

CASEY'S
GENERAL STORE

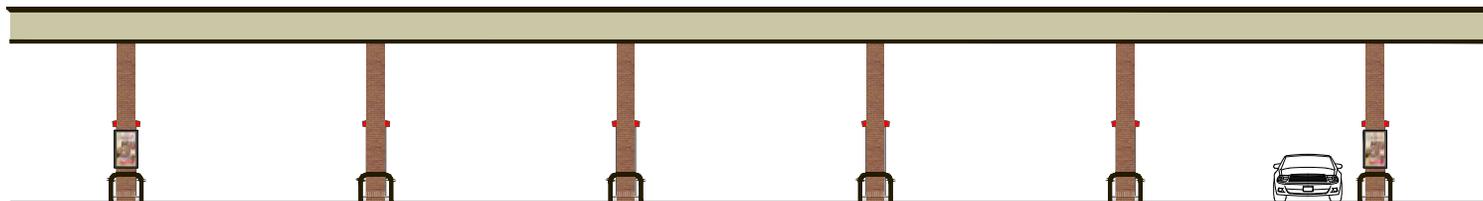




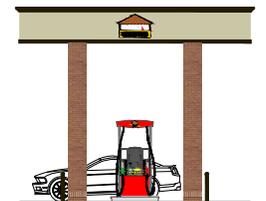
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



MT. HOREB, WI
CANOPY OPTION

DRAWN BY:
J. CLARK

DATE:
04-21-20

LILLEHAMMER LANE

SPRINGDALE SREET (BUS-18)

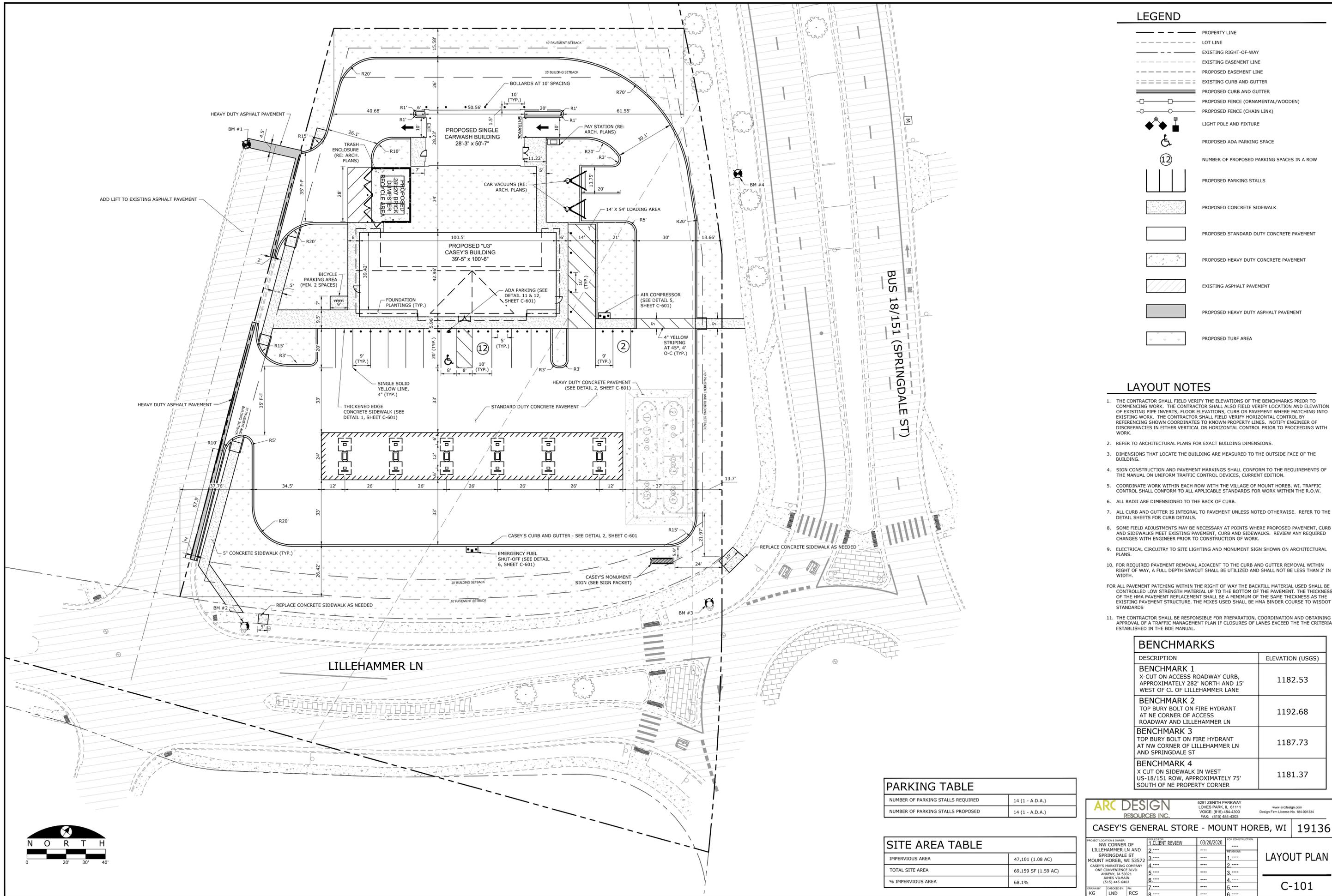
PROPOSED SINGLE CARWASH BUILDING
28'-3" x 50'-7"

PROPOSED 28' x 20' RECYCLE DIMENSIONAL RECYCLE AREA

PROPOSED "U3" CASEY'S BUILDING
39'-5" x 100'-6"

CASEY'S 4 PRODUCT MONUMENT SIGN





LEGEND

- PROPERTY LINE
- LOT LINE
- - - - - EXISTING RIGHT-OF-WAY
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
- ==== EXISTING CURB AND GUTTER
- ==== PROPOSED CURB AND GUTTER
- PROPOSED FENCE (ORNAMENTAL/WOODEN)
- PROPOSED FENCE (CHAIN LINK)
- ◆ LIGHT POLE AND FIXTURE
- ♿ PROPOSED ADA PARKING SPACE
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- ▭ PROPOSED PARKING STALLS
- ▭ PROPOSED CONCRETE SIDEWALK
- ▭ PROPOSED STANDARD DUTY CONCRETE PAVEMENT
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- ▭ EXISTING ASPHALT PAVEMENT
- ▭ PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- ▭ PROPOSED TURF AREA

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BENCHMARK 4 X CUT ON SIDEWALK IN WEST US-18/151 ROW, APPROXIMATELY 75' SOUTH OF NE PROPERTY CORNER	1181.37

PARKING TABLE

NUMBER OF PARKING STALLS REQUIRED	14 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	14 (1 - A.D.A.)

SITE AREA TABLE

IMPERVIOUS AREA	47,101 (1.08 AC)
TOTAL SITE AREA	69,159 SF (1.59 AC)
% IMPERVIOUS AREA	68.1%

ARC DESIGN
RESOURCES INC.

5291 ZENITH PARKWAY
LOVES PARK, IL 61111
VOICE: (815) 484-4300
FAX: (815) 484-4303

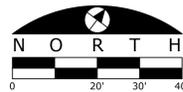
www.arcdesign.com
Design Firm License No. 184-001334

CASEY'S GENERAL STORE - MOUNT HOREB, WI 19136

PROJECT LOCATION & OWNER	DESIGN FOR	DATE	FOR CONSTRUCTION
NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST MOUNT HOREB, WI 53572 CASEY'S MARKETING COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 JAMES SELBURN (515) 445-6402	1. CLIENT REVIEW	03/20/2020	----
	2.	----	----
	3.	----	----
	4.	----	----
	5.	----	----
	6.	----	----
	7.	----	----
	8.	----	----

LAYOUT PLAN

C-101





VANDEWALLE & ASSOCIATES INC.

MEMORANDUM

To: Village of Mount Horeb Plan Commission
From: Village Planner Michael A. Slavney, FAICP
Date: April 22, 2020
Re: Village Planner's Preliminary Site Plan and Design Review Comments for Proposed Casey's Convenience Store, Gas Station, and Car Wash for April Plan Commission

Introduction

Casey's is proposing a new store located at the west corner of Springdale Street and Lillehammer Lane – across from Symdon Chevrolet. The site is proposed for a convenience store, gas pumps, and one bay car wash. The site is zoned Planned Business (PB), which allows the convenience store as a permitted by right Indoor Sales and Service land use; the gas pumps and car wash as In-Vehicle Sales and Service land uses requiring a conditional use permit; and a conditional use permit for Outdoor Display of limited areas and items on the store apron and gas pump islands.

Casey's and its agents, Design Resources Inc., have been working closely with Village Staff to design and refine a submittal to meet all zoning requirements, including zoning district, land use, and design review requirements. Village Staff believes the draft submittal is now compliant with most objective zoning requirements, but will benefit from early Plan Commission review and discussion of the subjective components of the project. The intent of this memo is to discuss all zoning requirements for this project, identify needs for changes to meet remaining objective issues, and provide background for the review and discussion of subjective requirements – mostly under the Village Design Review process.

This review is based on the updated plan set dated April 1, 2020; and the updated building elevations dated April 16, 2020. These materials are presented in the April Plan Commission packet. *At minimum, the yellow highlighted items should be discussed at the April Plan Commission meeting.*

Zoning District, Land Use, and Site Layout Requirements

Subject Property has Planned Business (PB) Zoning:

- Three land uses categories are proposed for this project:
 - Indoor Sales and Service – permitted by right
 - In-Vehicle Sales or Service – requires a conditional use permit
 - Outdoor Display (not depicted, but typical) – requires a conditional use permit. **Specific locations and materials for outdoor display will need to be identified in the submittal text and on the Site Plan.**

- PB Zoning District intensity (coverage) and bulk (setback and height) requirements are all met.
- Other land use issues: A condition of car wash approval will be for the car wash to recycle water.
- Site Design:
 - Village Public Works Director and Village Engineer should review and approve the proposed location of freestanding sign near corner of Springdale and Lillehammer, keeping in mind its maximum permitted height of 12 feet and sight line concerns. Does the Plan Commission have any other concerns with the proposed location?
- Landscaping: All landscaping requirements are met, including requirements for Building Foundation, Paved Areas, Street Frontages (3), and General Open Space. Provided landscaping points exceed required points by a modest percentage.
- Signage:
 - The proposed Free Standing and On-Building Signs comply with all requirements. The wall area behind the main on-building signs must remain in a neutral color and material used elsewhere on the building and not associated with the specific business.
 - Directional signs for the car wash traffic flow are in-compliance with size, number, and location requirements.
 - Pump island signage is limited to a maximum of one square foot.
 - Canopy signage is limited to 8-inch tall letters and no portion of the sign may extend above or below the top and bottom planes of the canopy. Reduce the size and height of the Casey's logo to comply. Remove the proposed color stripe – which counts as sign area.

Design Review Requirements per Section 17-14:

Design Review by the Plan Commission is required under Section 17.14 of the Zoning Ordinance. Design Review is required for all development projects in the Village, except residential development with three or fewer dwelling units. The Design Review requirements in Section 17.14(4)(b) identify 27 Design Directives. The Plan Commission has the ability to waive any Design Directive or add additional design requirements upon a finding that the additional design requirement would improve the project.

Generally, this project has been refined by working with Village Staff to comply with most Design Review requirements. I recommend the Plan Commission discuss the items highlighted in yellow, which require *subjective* Plan Commission review and approval, or require an *explicit waiver* by the Plan Commission.

1. Site Grading:

- a. The grading plan shall preserve existing grades to the greatest extent possible, particularly at the perimeter of the site.
 - This will be reviewed in detail by Village Staff. The Grading Plan appears to address the elevation change on the property in an appropriate manner.
- b. In no instance shall proposed grading create transitions to adjoining properties or rights-of-way that are unsafe, unstable or create drainage problems.
 - Same comment as 1.a., above.
- c. Site grading shall also preserve or create an attractive site appearance in conjunction with the proposed development.
 - Same comment as 1.a., above.

2. Existing Site Vegetation and Other Natural Features:

- a. The grading and development plans shall preserve, protect, and maintain important existing site vegetation as identified by the Plan Commission. Examples include hedgerows, groves and individual specimen trees.
 - There is no significant existing vegetation on the site.
- b. Topsoil used at the development site should be from on site, to the extent possible, particularly in areas under the drip line of preserved vegetation.
 - This will be reviewed in detail by Village Staff. The Site Plan is designed to meet enable the Grading Plan to meet this requirement.

3. Site Layout Relation to Abutting Streets:

- a. In general, the layout of buildings, structures, pavement, parking and landscaping shall be compatible with the general pattern for similar land uses in the vicinity, as determined by the Plan Commission.
 - This is a challenging site, with two public street frontages, the site approach from a private drive, and the buildings highly visible when approaching on Springdale Street from the west. The development plan proposes the building facing east – toward US 151 and Lillehammer Lane, which results in the building side facing Springdale Street and the building rear facing west down the length of Springdale Street. The building elevations and landscaping plan have been upgraded to address this challenge. The Plan Commission should discuss whether the proposed building orientation and appearance results in an acceptable alternative to having the building face Springdale Street – which results in the sides facing east to Lillehammer and USH 151 and to west, with the rear facing the private drive serving the site entrance and exit.
- b. The general site layout shall result in an attractive appearance to all abutting streets, as determined by the Plan Commission.
 - Same as 3.a., above.

4. Building Setbacks:

- a. Building setbacks shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 4.b. and 4.c.
 - This requirement is met on all sides of the store, car wash, and canopy.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, the entire street side of buildings shall be located at or within 3 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process.
 - This requirement is not applicable, as the subject property is not located in the specified area.
- c. Within the CTH ID corridor between STH 78 and USH 151, the entire street side of buildings shall be located at or within 30 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process. Parking shall not be permitted in this area. Drives for one-way circulation and/or emergency vehicle access may be permitted through the conditional use process.
 - This requirement is met on all sides of the store, car wash, and canopy.

5. Building Height:

- a. Building heights shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 5.b. and 5.c.
 - This requirement is met.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, building heights shall be a minimum of 20 feet and shall be a minimum of 2 stories, unless an exception is granted through the conditional use process.
 - This requirement is not applicable, as the subject property is not located in the specified area.
- c. Within the CTH ID corridor between STH 78 and USH 151, building heights shall provide a functional or decorative building tower or related architectural feature that exceeds the height of the majority of the building facade by at least 7 feet, unless an exception is granted through the conditional use process. Roofs, and roof appurtenances such as cupolas, shall not count toward this requirement.
 - This requirement appears to be met. Is the Plan Commission supportive of this approach to the tower element requirement?

6. Building Mass:

- a. Buildings over 5,000 square feet of gross floor area shall be subject to the requirements for large developments.
 - The project is below 5,000 square feet and is not subject to those requirements.

7. Building Facades:

- a. Long building facades shall be visually broken up and variegated with staggers and offsets as determined appropriate by the Plan Commission.
 - This requirement is met on the front. Does the Plan Commission think this requirement is met on the back (west facing) façade?
- b. All building facades facing streets, drives or parking areas shall provide regularly spaced openings for windows and doors, and regularly spaced decorative elements such as piers and columns. The size and spacing of these features shall be compatible with nearby structures that meet this requirement, as determined by the Plan Commission.
 - I think this requirement is met on the front. Does the Plan Commission think this requirement is met on the north-facing façade facing Springdale Street?
- c. All building facades facing streets, drives or parking areas shall provide a pattern of upper story openings that is compatible with the pattern established by the ground floor, as determined by the Plan Commission.
 - Not applicable for this one-story building. This requirement is met.
- d. Within the downtown zoning district, and particularly along Main Street and the commercially developed portions of intersecting streets, building facades shall employ traditional storefront design by providing pilasters, transom windows, cornices, lintels

and related decorative details to highlight transitions between the ground floor and upper stories and between upper stories and the parapet.

- This requirement is not applicable, as the subject property is not located in the specified area.

8. Exterior Building Materials:

- a. Exterior materials for multi-family, office, or commercial buildings may not include metal wall panels, concrete panels, plain concrete block, asphalt, or spandrel window panels, unless an exception is granted through the conditional use process.
 - This requirement is met with wall materials. However, “faux windows” (spandrel window panels) are proposed on the building. Does the Plan Commission want to consider granting an exception to this prohibition?
- b. Hard and durable materials including decorative block, brick or stone, shall be required on all exterior portions of the structure within 40 inches of the adjacent grade.
 - This requirement is met on all sides of the building.

9. Exterior Building Colors:

- a. Exterior colors of all buildings, structures, appurtenances and paving shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
 - i. Within the downtown area, the Victorian color palette shall be used, or other colors must be approved by the Plan Commission.
 - This requirement is not applicable, as the subject property is not located in the specified area.
 - ii. Throughout the rest of the Village, primary colors including red, blue, green, yellow, black, and fluorescent colors shall not be permitted. Where an integral part of site design, muted versions of these colors may be used, as approved by the Plan Commission.
 - This requirement is met on all portions of the building using calm, neutral colors – except for the proposed stripe on the canopy. Does the Plan Commission wish to consider an exception to this requirement for the canopy stripe?
 - iii. High gloss paints and other exterior finishes are not permitted.
 - This requirement is met on all portions of the building.
 - iv. Color patterns shall be used consistently throughout the property, as determined by the Plan Commission.
 - This requirement is met on all portions of the building.

10. Exterior Doors:

- a. All exterior doors visible from streets, drives or parking areas shall provide decorative design elements.
 - This requirement is not met on the man doors on the north and west facades, which are visible from Springdale Street. Does the Plan Commission wish to consider an exception for this prohibition?

11. Windows:

- a. Spandrel panels, mirrored glass or heavily-tinted windows are not permitted. Where screening is desired, vertical or horizontal strip blinds may be used.
 - As discussed above, “faux windows” (spandrel window panels) are proposed on the building. Does the Plan Commission want to consider granting an exception to this prohibition?
- b. Windows may not be obscured by paper or other attached materials on more than 5% of any individual window panel.
 - This requirement is met on all portions of the building. Continual compliance is required after building occupancy.

12. Roofs:

- a. Roof forms and materials shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
 - This requirement may not be met on the highly visible rear west façade of the building. The proposed rear roof is a substantial upgrade from the originally proposed treatment. Does the Plan Commission feel this requirement is met by the proposal; or alternatively, does the Plan Commission wish to consider an exception to allow the proposed approach?
- b. Metal roofs shall not be used for multifamily, office or commercial buildings, unless an exception is granted through the conditional use process.
 - This requirement is met.
- c. Roof forms shall be designed to accommodate the requirements in subparagraphs 5.c. and 7.d., above.
 - This requirement is met.
- d. Rooftop mechanical equipment shall not exceed the elevation of the lowest point of the surrounding building parapet or roof.
 - This requirement is not met on the rear side of the roof. However, the roof is proposed to use screening panels to conceal views of the rooftop mechanicals. Does the Plan Commission wish to consider an exception to allow the proposed panels?

13. Exterior Building Appurtenances:

- a. Building facades shall be uncluttered by the minimal use and careful placement of brackets, wiring, meter boxes, antennae, gutters, downspouts and other appurtenances. Where necessary, such features shall be colored to blend in, rather than contrast, with the immediately adjacent building exterior.
 - I believe this requirement is met. Does the Plan Commission concur, particularly in the treatment of the west façade of the building?

14. Awnings:

- a. Awnings, where approved by the Plan Commission, shall complement the character of the building.
 - This is an option often recommended for buildings with a residential form (gable roofs, horizontal siding). I believe this requirement is met.

- b. Soft, weather-treated canvas or vinyl materials which allow for flexible or fixed installation may be used. Metal canopies are prohibited.
 - This requirement is met.
- c. Backlighting is prohibited.
 - This requirement is met.

15. Trash Containment Structures:

- a. Trash containment structures shall be designed to fully conceal trash storage.
 - This requirement is met.
- b. Trash containment structures shall be constructed in the same materials and colors as the ground floor of the principal building.
 - This requirement is met.
- c. Wood or synthetic wood gates shall be used and shall be arranged in a pattern to provide complete opacity. Metal panel gates and metal fence gates with strips are prohibited.
 - This requirement is met.

16. Freestanding Canopy Structures:

- a. Freestanding canopy structures, such as those providing shelter at a gas station or drive-up banking station, shall be designed to complement the design of the principal building, as determined by the Plan Commission.
 - This requirement is not met. The drive-up structure does not match the design, materials and colors of the primary building. Does the Plan Commission wish to grant an exception for this requirement?
- b. Canopy roofs shall employ the same pitch, materials and colors as the roof of the principal building, unless an exception is granted through the conditional use process.
 - This requirement is not met. Does the Plan Commission wish to grant an exception for this requirement?
- c. Canopy supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
 - This requirement is not met for the *full* height of the canopy supports. Does the Plan Commission wish to grant an exception for this requirement?

17. Other Structures:

- a. Outbuildings shall employ the same high-quality exterior building materials as used on the principal building.
 - This requirement is met by the car wash building.
- b. Walls and fences shall employ high-quality materials such as metal pickets, stone, decorative block or brick which complement the principal building, as determined by the Plan Commission.
 - This requirement is met by the car wash building.

18. Exterior Lighting:

- a. All exterior lighting shall use decorative fixtures, as approved by the Plan Commission. Such fixtures shall be consistent in design theme throughout the site.
 - This requirement is met.
- b. All exterior light bulbs shall not be visible from beyond any property line. Directional or cutoff fixtures shall be used to meet this requirement.
 - This requirement is met.
- c. Lighting at the property lines shall not exceed 0.5 footcandles over ambient conditions.
 - This requirement is met.
- d. Maximum lighting shall not exceed 10.0 footcandles on the site, except in areas serving in-vehicle uses such as drive-up windows and fueling areas. In such locations, maximum lighting shall not exceed 25.0 footcandles.
 - This requirement is met.
- e. Freestanding light fixtures shall not exceed a total height of 20 feet.
 - This requirement is met.

19. Exterior Signage:

- a. Exterior signage shall complement the design of the overall site, as determined by the Plan Commission.
 - This requirement is met.
- b. Freestanding sign supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
 - This requirement is met.

20. Outdoor Display or Storage:

- a. All outdoor display and/or storage areas must be clearly depicted and labeled on an approved site plan. Said label shall specify the general types of materials to be displayed or stored, including: retail or rental display; retail or rental vehicle display; long-term business vehicle storage; equipment storage; refuse storage; scrap equipment or vehicle storage.
 - *Unknown at this time, no outdoor display depicted.*
- b. Outdoor storage areas shall be adequately screened from view from adjacent properties and streets, drives and parking areas, as determined by the Plan Commission.
 - *Unknown at this time, no outdoor display depicted.*

21. Pavement Materials:

- a. All traffic circulation, parking and pedestrian areas shall be provided with a hard, durable surface such as concrete, asphalt, pavement blocks or bricks. Gravel is not acceptable.
 - This requirement is met throughout the site.
- b. Durable, porous pavement techniques are encouraged, and the overall coverage of pavement on all sites should be minimized so as to reduce stormwater runoff.

- Please consider this for employee walkways.

22. Pedestrian Facilities:

- a. Public sidewalks or multipurpose paths shall be required along all street frontages, per Village standards.
 - This requirement is met.
- b. Paved pedestrian connections are required between all street frontage pedestrian facilities and public doorways. Said connections shall be a minimum of 5 feet wide.
 - This requirement is met.
- c. Where pedestrian connections cross vehicle circulation areas, a crosswalk clearly delineated by color and/or texture is required.
 - This requirement is met.

23. Traffic Circulation:

- a. Traffic circulation patterns shall be safe and understandable by vehicle operators, as determined by the Plan Commission.
 - This requirement is met, including the minimum 25-foot deep entry before encountering a vehicle exiting a parking space.
- b. Traffic patterns which are determined as too complicated by the Plan Commission shall be prohibited. Complications may be identified due to steep grades, inadequate throat depths, offset intersections, too many intersections within a particular area, dangerous and conflicting traffic movements, movements compromised by limited visibility, or restricted turning radii for the types of vehicles likely present on the site.
 - This requirement is met.
- c. No traffic circulation shall be permitted within 10 feet of a street or drive right-of-way or easement, nor within 5 feet of any other property line, except within the downtown area, or as approved as through the conditional use process.
 - This requirement is met.
- d. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding limitations on drives located adjacent to street rights-of-way.
 - This standard is not met due to the need to access the car wash, and to route fuel delivery vehicles around the site. Does the Plan Commission wish to consider an exception for this requirement?

24. Parking:

- a. All parking areas located within required principal building setback areas shall be visually screened from streets by a continuous landscaped hedge, fence, wall or berm with a minimum height of 40 inches over the elevation of the adjacent portion of the parking lot at time of installation. Gaps in this hedge are permitted for pavement approved as part of the site design.
 - This requirement is met.

- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, parking shall not be located along a street frontage unless an exception is granted through the conditional use process.
 - This standard is not applicable to the subject property.
- c. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding the prohibition of parking adjacent to street rights-of-way.
 - This requirement is met, there is no parking adjacent to street rights-of-way.
- d. Bicycle parking shall be provided at a rate of one bicycle space for every 10 vehicle parking spaces up to a total of 20 bicycle spaces.
 - This requirement is met.

25. Building Foundation Landscaping:

- a. A minimum 10-foot wide landscaping bed or planter shall be provided along at least 50% of each wall facing a street, drive or parking area, except within the downtown area.
 - This requirement is not quite met on the front façade, where the planter beds abut about 46% of the east wall. Given the food prepared and available inside, I feel an exception to allow as depicted would be appropriate. Does the Plan Commission wish to consider an exception to this requirement?
- b. This bed or planter shall be located adjacent to or within 10 feet of the building foundation.
 - This requirement is met.
- c. This bed or planter shall be landscaped appropriately as determined by the Plan Commission.
 - Unknown at this time. Will be provided in the public hearing packet.

26. Street Frontage Landscaping:

- a. A minimum 10-foot wide landscaped area shall be provided adjacent to the frontage of all streets and drives, except within the downtown area.
 - This requirement is met.
- b. This area shall be landscaped appropriately as determined by the Plan Commission. At minimum, one canopy-type street tree (maple, oak, hickory, ginkgo, honey locust or similar species) shall be required for every 50 feet of street or drive frontage, except within the downtown area. Said trees shall be a minimum 2-inch to 2.5-inch caliper.
 - Unknown at this time. Will be provided in the public hearing packet.

27. Parking Lot Landscaping:

- a. Parking lot landscaping shall comply with the requirements of §17.136
 - Unknown at this time. Will be provided in the public hearing packet.
- b. Subsection 24.a., above, shall also apply along street and drive frontages.
 - Unknown at this time. Will be provided in the public hearing packet.
- c. Subsection 24.c., above, shall also apply along CTH ID.
 - Unknown at this time. Will be provided in the public hearing packet.

Village of Mount Horeb
Building Inspection Dept.

Building Inspector's Report
March 2020

Month to Date

1. 18 building permits have been issued for general construction since March 1st.
2. 0 new UDC permits

Year to Date

1. 45 general permits since Jan. 1st
2. 2 new UDC single family homes since Jan. 1st
3. 1 new duplex

Large Commercial projects currently active

1. Premier Co-op addition/remodel
2. 6-unit apartment building on Eastwood Way

Respectfully submitted

Dave Geraths
Building Inspector