



# Village of Mount Horeb

138 E Main St

Mount Horeb, WI 53572

Phone (608) 437-6884/Fax (608) 437-3190

Email: [mhinfo@mounthorebwi.info](mailto:mhinfo@mounthorebwi.info) Website: [www.mounthorebwi.info](http://www.mounthorebwi.info)

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THE PLAN COMMISSION/HISTORIC PRESERVATION COMMISSION WILL MEET IN A VIRTUAL MEETING. YOU CAN JOIN VIEW THE MEETING LIVE THRU THE VILLAGE WEBSITE BY CLICKING THE "WATCH LIVE" LINK UNDER THE TROLLWAY TV GRAPHIC ON THE HOME PAGE OF THE VILLAGE WEBSITE AT [WWW.MOUNTHOREBWI.INFO](http://WWW.MOUNTHOREBWI.INFO). THE MEETING IS ALSO BROADCAST LIVE ON MHTC CHANNEL 181 AND CHARTER CHANNEL 981. YOU CAN ALSO CONNECT TO THE MEETING USING THE FOLLOWING:

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## PLAN COMMISSION/HISTORIC PRESERVATION COMMISSION WEDNESDAY, MAY 27, 2020

The Plan Commission/Historic Preservation Commission of the Village of Mount Horeb will meet in a virtual meeting at 7:00pm. Agenda as follows:

- 1) Call to order – Roll call
- 2) Consider April 22, 2020 Plan Commission meeting minutes
- 3) PUBLIC HEARING: Conditional Use Permit Application for Indoor Commercial Entertainment, In Vehicle Sales and Service, and Outdoor Display for proposed Casey's General Store at the northwest corner of Lillehammer Lane and Springdale Street
- 4) Consider recommendation for Resolution 2020-09, CONDITIONAL USE PERMIT FOR PART OF LOT 2 CSM 11019 CASEY'S MARKETING COMPANY"
- 5) Consider Design Review for proposed Casey's General Store to be located at the northwest corner of Lillehammer Lane and Springdale Street
- 6) Consider Conditional Use Permit application for solar panels at 214 East Lincoln Street and set public hearing for June 24, 2020

- 7) Consider change to fence height ordinance and set public hearing for June 24, 2020
- 8) Consider Conditional Use Permit application for a storage shed at 800 Brookstone Crest and set public hearing for June 24, 2020
- 9) Consider Town of Blue Mounds rezone by Z & L Properties LLC for parcel 0606-134-8701-0 from A-1 Exclusive Agriculture District to Commercial
- 10) Plan Commission Chair report
- 11) Village Planner report
- 12) Adjourn

A QUORUM OF THE VILLAGE BOARD/VILLAGE COMMITTEE MEMBERS MAY BE PRESENT AT THIS MEETING. ONLY NOTICED AGENDA ITEMS WILL BE ACTED ON BY THE GOVERNMENTAL BODY SPECIFIED ABOVE.

PLEASE NOTE THAT UPON REASONABLE NOTICE EFFORTS WILL BE MADE TO ACCOMMODATE THE NEEDS OF DISABLED INDIVIDUALS THROUGH APPROPRIATE AIDS OR SERVICES. TO REQUEST THIS SERVICE CONTACT ALYSSA GROSS, CLERK, AT (608) 437-9404.

PLAN COMMISSION/HISTORIC PRESERVATION COMMISSION  
WEDNESDAY, APRIL 22, 2020

The Plan Commission/Historic Preservation Commission of the Village of Mount Horeb met on the above date in a virtual meeting. Chair Randy Littel called the meeting to order at 7:00pm. Present were Commissioners Destinee Udelhoven, Aaron Boehnen, Dave Hoffman, and Peggy Zalucha. Brent Yauchler and Norb Scribner were absent. Also present were Village Administrator Nic Owen, Assistant Village Administrator Kathy Hagen, Village Planner Mike Slavney, Delaney Mertz from the Youth in Government program, and Deputy Clerk Chrissy Kahl.

**Consider February 26, 2020 Plan Commission meeting minutes:** Zalucha moved, Hoffman seconded to approve the February 26, 2020 minutes. Motion carried by unanimous voice vote.

**Consider recommendation for final plat of Sixth Addition to Kara View Heights:** Owen gave an overview. Developer Brian Durtschi was available for questions. Hoffman moved, Zalucha seconded to recommend approval of the final plat. Motion carried by unanimous voice vote.

**Consider Village of Mount Horeb welcome sign:** Owen reviewed the new sign design. Dan Yoder from Sign Art Studio was available for questions. Bob Faliveno from the Lions Club offered that members can cut weeds and remove snow from in front of the sign. Zalucha moved, Littel seconded the sign as is. Motion carried by unanimous voice vote.

**Conceptual presentation of proposed Casey's convenience store:** Project Manager Lauren Downing from ARC Design, and Real Estate/Store Development Associate Cory Bloom from Casey's presented the proposed Casey's store plan. Slavney reviewed his memo findings.

**Plan Commission Chair Report:** Littel gave the report including the Building Inspector's report.

**Village Planner report:** No report given.

**Adjourn:** Zalucha moved, Hoffman seconded to adjourn the meeting at 8:17pm. Motion carried by unanimous voice vote.

Minutes by Chrissy Kahl, Deputy Clerk

RESOLUTION 2020-09

CONDITIONAL USE PERMIT FOR PART OF LOT 2 CSM 11019  
CASEY'S MARKETING COMPANY

WHEREAS, Symdon Brothers LLC is the property owner of parcel 0607-074-8830-1 located at 119 S Second Street in the Village of Mount Horeb; and

WHEREAS, property is currently zoned PB Planned Business in which the desired use of Indoor Commercial Entertainment, In Vehicle Sales and Service, and Outdoor Display are not permitted uses, but are allowable conditional uses pursuant to Mount Horeb Municipal Code §17.42 Planned Business District (2)(b) and §17.20(4) Commercial Land Uses; and

WHEREAS, an application for a Conditional Use Permit to allow the above listed uses has been filed with the Village of Mount Horeb by Casey's Marketing Company; and

WHEREAS, the matter was the subject of a public hearing before the Plan Commission/Historic Preservation Commission on May 27, 2020, after due notice thereof as required by law; and

WHEREAS, the proposed uses are consistent with the Comprehensive Plan; and

WHEREAS, after due consideration and being fully advised in the premises, the Board of Trustees of the Village of Mount Horeb deems it to be in the interest of the general public to allow the desired uses of said property, hereinafter set forth as conditional uses.

NOW, THEREFORE, BE IT RESOLVED, by the Board of Trustees of the Village of Mount Horeb, Dane County, Wisconsin, that a Conditional Use Permit for Indoor Commercial Entertainment, In Vehicle Sales and Service, and Outdoor Display per Mount Horeb Municipal Code §17.42 Planned Business District (2)(b) and §17.20(4) Commercial Land Uses for a part of Lot 2 CSM 11019 in the Village of Mount Horeb, Dane County, Wisconsin, is hereby granted.

Introduced and passed this \_\_\_\_ day of \_\_\_\_\_, 2020.

\_\_\_\_\_  
Randy J Littel, Village President

ATTEST:

\_\_\_\_\_  
Alyssa Gross, Village Clerk

# Casey's General Store

Plan Commission – Design Review Application

## Project Location:

NW Corner of Lillehammer Ln. and Springdale St.  
Mount Horeb, WI 53572



Wednesday, May 6, 2019

**To:** Mount Horeb Planning Department and Plan Commission

**Project:** Casey's General Store, Mount Horeb, WI  
NW Corner of Lillehammer Ln. and Springdale St.  
Mount Horeb, WI 53572

**Owner:**

Casey's Marketing Company  
One Convenience Blvd  
Ankeny, IA 50021  
Contact – James Vilmain  
Phone Number – 515-445-6402

**Civil Engineer:**

Arc Design Resources, Inc.  
5291 Zenith Parkway  
Loves Park, IL 61111  
Contact – Lauren Downing, P.E.  
Phone Number – 815-484-4300 ext. 220

**Architect:**

McMahon Associates, Inc  
1445 McMahon Drive  
Neenah, WI 54956  
Contact – Sam Tijan  
Phone Number – 920-751-4200 ext. 320

**Landscape Architect:**

Arc Design Resources, Inc.  
5291 Zenith Parkway  
Loves Park, IL 61111  
Contact – Matt Adas, PLA, ASLA  
Phone Number – 815-484-4300 ext. 236

# Village of Mount Horeb

138 East Main Street

Mount Horeb Wisconsin 53572

## DESIGN REVIEW APPLICATION

Applicant Name: Casey's Marketing Company

Address: One Convenience Blvd, Ankeny, IA 50021

Telephone Number (daytime): 515-965-6123

Address of project if different: NW Corner of Lillehammer Ln and US-18/US151 (Springdale St), Mt Horeb, WI 53572

Zoning Classification of project: PB-Planned Business

Fee paid (\$100-see back side of application): \$100

Plan Submittal Checklist attached: Yes

Landscape Plan Submittal Checklist attached: Yes

Design Review Parking Lot Application Required: Yes

Design Review Parking Lot Application Submitted: Yes

Project Description: Development of a Casey's General Store with fuel sales, car wash, and related amenities.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

*Marni Beck*

Store Development Supervisor  
4/24/2020

Applicant

Date

Zoning Administrator

Date

I HEREBY ACKNOWLEDGE RECEIPT OF WRITTEN PLAN COMMISSION APPROVAL FOR THE ABOVE PROJECT, AND AGREE TO MEET THE CONDITIONS INCLUDED IN THE APPROVAL.

SIGNED: \_\_\_\_\_

DATE: \_\_\_\_\_

## PLAN SUBMITTAL CHECKLIST

Project: \_\_\_\_\_

Submitted by: \_\_\_\_\_

Dated submitted: \_\_\_\_\_

NOTE: Please include each applicable item listed below with all formal plan submittals. All lines should be checked. Mark "N/A" if the item does not apply. All plans must be submitted with this checklist as a single package no later than twenty (20) days prior to presentation at Plan Commission/Historic Preservation Commission.

- \_\_\_ 1. Show existing and proposed contours at an interval suitable to the topography and project. Contours should extend a minimum of 20 feet beyond property lines and nearby berms and swales and at least to the backs of curbs.
  
- \_\_\_ 2. Show square footage of:
  - \_\_\_ a. Lot or parcel
  - \_\_\_ b. Existing impervious surface
  - \_\_\_ c. Proposed total impervious
  - \_\_\_ d. Existing building
  - \_\_\_ e. Proposed total building
  - \_\_\_ f. Existing parking and pavement
  - \_\_\_ g. Proposed total parking and pavement
  
- \_\_\_ 3. Show all relevant dimensions including:
  - \_\_\_ a. Buildings
  - \_\_\_ b. Parking stalls
  - \_\_\_ c. Driveway widths
  - \_\_\_ d. Setbacks to buildings and other improvements
  - \_\_\_ e. Parking lot aisles, turnarounds, turning radii, etc.
  - \_\_\_ f. Distance from driveway to street corner if under 200 feet
  - \_\_\_ g. Sidewalk, walkway and handicap ramp widths and locations with respect to street and right-of-way
  - \_\_\_ h. Widths of abutting R.O.W.'s, roadways, and terraces.
  
- \_\_\_ 4. Show dimensions and bearings of property lines.
  
- \_\_\_ 5. Show North Arrow and scale of drawing.
  
- \_\_\_ 6. Show Village bench mark location and elevation to NGS datum.  
Per conversations with Village Staff, our survey and corresponding benchmarks are on the approved NAVD 88 datum.
  
- \_\_\_ 7. Show all existing and proposed surface materials (grass, bituminous, concrete, etc.).

- \_\_\_ 8. Show total number of required and proposed parking stalls.
- \_\_\_ 9. Show handicap parking stall and ramp locations.
- \_\_\_ 10. Show up or down arrows on loading or other ramps.
- \_\_\_ 11. Show existing, proposed, and adjoining driveway approaches.
- \_\_\_ 12. Show removal and replacement to Village Specifications of concrete curb and gutter for all new curb cuts or as otherwise required.
- \_\_\_ 13. Show rim and invert elevations of all drainage structures.
- \_\_\_ 14. Design surface drainage to bypass dumpster locations.
- \_\_\_ 15. Indicate proposed direction of roof drainage and show location of all roof gutter downspouts.
- \_\_\_ 16. Show all existing and proposed public and private utility locations on and adjacent to site.
- \_\_\_ 17. Show location of nearest existing Village of Mt. Horeb fire hydrants and proposed Village and private fire hydrants.
- \_\_\_ 18. Show location and screening of refuse containers.
- \_\_\_ 19. Show how recyclable materials will be handled.  
Recyclable materials will be stored in the trash enclosure area.
- \_\_\_ 20. Show proposed lighting for site including location, pole height, luminaire type and manufacturer's specifications.
- \_\_\_ 21. Provide drawings of proposed building with elevation views showing proposed materials and colors.
- \_\_\_ 22. Include elevation view of rooftop mechanicals and required screening design materials and colors.
- \_\_\_ 23. Include name of designer.

## LANDSCAPE PLAN SUBMITTAL CHECKLIST

NOTE: Please include each applicable item listed below with all formal plan submittals. All lines should be checked or marked "N/A" if the item does not apply.

This checklist should accompany the PLAN SUBMITTAL CHECKLIST.

- 1. Show existing and proposed contours at an interval suitable to the topography and project. Contours should extend a minimum of 20 feet beyond property lines and nearby berms and swales and at least to the backs of curbs.
- 2. Show total number of required:
  - a. Parking stalls
  - b. Landscaping points and size of landscaping elements
  - c. Additional canopy trees
- 3. Show total number of provided:
  - a. Parking stalls
  - b. Landscaping points and size of landscaping elements
  - c. Additional canopy trees
- 4. Show North Arrow and scale of drawing.
- 5. Include name of designer on final papers.
- 6. Show existing/proposed hydrants, sanitary laterals, water services, light poles, power poles, and other significant topographic features in landscaped areas.
- 7. Show all relevant dimensions.
- 8. Show landscape elements and trees drawn to scale equal to their growth within five years of construction.

APPENDIX 1

PARKING AREA  
APPLICATION WORKSHEET

**PORTION TO BE COMPLETED BY APPLICANT:**

Project Location/Address: \_\_\_\_\_

Owner/Applicant: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Date of Application: \_\_\_\_\_

1. The land use or development to be served by the proposed parking area: \_\_\_\_\_

\_\_\_\_\_

2. Number of projected employees and/or students: \_\_\_\_\_

3. Square feet of floor area: \_\_\_\_\_

4. Capacity of the facility (if applicable): \_\_\_\_\_

5. Number of dwelling units (if applicable): \_\_\_\_\_

Efficiencies \_\_\_\_\_ 1 Bedroom \_\_\_\_\_ 2 Bedroom \_\_\_\_\_ More than 2 Bedroom \_\_\_\_\_

**PORTION TO BE COMPLETED BY ZONING ADMINISTRATOR:**

6. Minimum number of spaces required: \_\_\_\_\_

7. Minimum number of spaces for handicapped: \_\_\_\_\_

8. Minimum number of canopy trees under the canopy tree requirement: \_\_\_\_\_

9. Minimum number of points under the landscape element point system requirement: \_\_\_\_\_

10. Linear feet of screening from nearby residentially zoned property: \_\_\_\_\_

Location of Screening: \_\_\_\_\_

## **Request**

Applicant is seeking Plan Commission approval on the exterior building design and site aesthetics prior to moving forward with site permitting.

## **Zoning Data**

Current Zoning: (PB) Planned Business

Proposed Use: Fuel Station with C-Store and Car Wash

## **Project Statistics**

Lot Area: 69,159 s.f.

Lot Coverage: Impervious = 48,007 s.f. (69.4% of site)

C-Store footprint = 4,105 s.f.

Canopy footprint = 3,696 s.f.

Car Wash footprint = 1,415 s.f.

Pavement area = 38,791 s.f.

Pervious = 21,152 s.f. (30.6% of site)

Building Height: C-Store = 24'-1 1/8" Top of Main Building

C-Store = 36'-9" Peak of Tower

Car Wash = 17'-10"

Parking: 18 parking stalls provided on site (including 1 A.D.A. Stall)

Bicycle Parking: 2 parking stalls provided adjacent to building.

## **Description of Intended Use**

The proposed project will consist of a 4,105 s.f. retail convenience store with car wash selling convenience items (including but not limited to beer, wine, liquor, and tobacco), beverages, and fresh made-to-order food products including pizza, sandwiches, and donuts. Hours of anticipated operation will likely be 6 a.m. to 11 p.m. or 5 a.m. to 12 a.m. based upon demand. The total number of new employees hired will be a mix of 10-20 full and part time associates.

Six multi-product fuel dispensers will be housed under a canopy that is oriented perpendicular to BUS 18/151 (Springdale St), resulting in 12 fueling positions. The proposed site provides 18 parking stalls including 1 A.D.A. parking stall. The site also includes a 50' car wash with two (2) vacuum stalls. There will be a 28' x 20' brick enclosed trash and recycling area. A 4-product monument sign shall be utilized at the eastern corner of the site. The proposed site features two thirty-five foot (35') driveways. The driveways connect to the site from the private access drive. Parking facilities will be provided onsite. All parking and pavement surfaces will be concrete with curb. Drainage will include on-site conveyance via inlets and stormwater sewer. Please note that detention and water quality features for the site have been previously provided offsite.

## Design Narrative

The site and building are designed with Casey's desire for a visible facility that is welcoming and pleasing to the community. In the following design narrative, we will highlight aspects of the design and its relationship to Mount Horeb's zoning code.

### Site Plan

The site plan is designed such that the canopy and building are visible from the roundabout at Springdale Street and Lillehammer. The building faces Lillehammer due to site restrictions to allow the best circulation of customer and delivery vehicles around the site and to best meet Casey's design standards as well as Village setback codes. The site layout provides adequate parking and drive aisle widths to encourage safe maneuverability around the site. The site also connects to and extends the public sidewalks around the site, providing customers a safe route to walk to the facility.

### Building Setbacks

The site plan is consistent with the setback requirements of the PB district: 20' principal structure front yard setback (Lillehammer Ln and Springdale St), 10' side yard setback (access road), and 25' principal structure rear (5' accessory structure for car wash) rear yard setback.

### Building Height

The principal building has a "Tower" design feature with a maximum height of 36'-9" which is less than the maximum of 45' for the PB Zoning District. The "Tower" feature has been designed to meet the requirements for this portion of the CTH ID Corridor zoning requirements for this location.

### Building Facades

The building is designed with Casey's "Antique Red" brick, incorporating two (2) "Blond" soldier course rows, and stacked cultured stone columns at the exterior corners of the building. The Car Wash building incorporates the same design features. Additionally, the Casey's preferred "red" colors have been removed from the facades to meet the Design Review standards. Consistent materials are provided among the car wash, convenience store, canopy and trash enclosure. Stone columns have been added to create additional interest on all sides of the car wash and convenience store. Additionally, to create a finished building appearance on the north and east store façades, faux windows have been added.

The canopy has been modified to add brick columns, reduced signage size, remove temporary signage and change the canopy color from Casey's preferred red to tan to compliment the car wash and convenience store.

### Trash Enclosure

The site incorporates a brick trash enclosure that utilizes the same brick material as the convenience store and car wash.

### Canopy Structure

The canopy has been modified to add brick columns, reduced signage size, remove temporary signage and change the canopy color from Casey's preferred red to tan to compliment the car wash and convenience store and providing site continuity and premium quality design elements.

### Overall Building Design

The overall design of the buildings (c-store, car wash, canopy, trash enclosure) has been designed and materials carefully selected to provide an appealing view to the public. The building materials and architectural design is continued on all four sides to ensure all public views enact the same pleasing view of these high-quality materials.

In terms of the Casey's General Store's contextual relationship to the architectural character of Mount Horeb, its design features have a strong relationship to the strip center near the intersection of Telemark Parkway and Springdale Street. Both buildings incorporate neutral tones with brick materials in the primary structure as well as their trash enclosure. Additionally, towers and peaked roofs enhancing the features of the building provides multiple dimensions to their structures.



Strip Center (Subway/Snap Fitness/others), Mount Horeb.

Full height brick facades provide the building with long-lasting high-quality materials that enhance the surrounding area and provide customers with a welcome atmosphere during their visit to the site. Fully screened HVAC units provide a clean and finished look for the building from all viewing angles visible to the public.



## Conclusion

Casey's General Store has put forth a tremendous amount of effort to create an aesthetically appealing building and site package that fits well within the Springdale corridor and Mount Horeb community in general, while still maintaining good corporate branding. Providing the local citizens with a clean, comfortable, visually pleasing environment to fill up their vehicles, shop for various items, and order freshly made food has always been and will always be their company mission.

# CASEY'S GENERAL STORE - MOUNT HOREB, WI

NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST  
MOUNT HOREB, WI 53572

## GENERAL NOTES

- The designs represented in these plans are in accordance with established practices of civil engineering for the design functions and uses intended by the owner at this time. Neither the engineer nor its personnel can or do warrant these designs or plans as constructed except in the specific cases where the engineer inspects and controls the physical construction on a contemporary basis at the site.
- The contractor, by agreeing to perform the work, agrees to indemnify and hold harmless the owner, the engineer, the Village, and all agents and assigns of those parties, from all suits and claims arising out of the performance of said work, and further agrees to defend or otherwise pay all legal fees arising out of the defense of said parties.
- In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, or near the construction site. The contractor is responsible for maintaining adequate signs, barricades, fencing, traffic control devices and measures, and all other measures that are necessary to protect the safety of the site at all times.
- Maintain access for vehicular and pedestrian traffic as required for other construction activities. Use traffic control devices to include temporary striping, flagmen, barricades, warning signs, and warning lights shall be in accordance with current MUTCD and WisDOT standards.
- All phases of the site work for this project shall meet or exceed industry standards and requirements set forth by the the owner's "Description of Work", the Village of Mount Horeb, WI, the State of Wisconsin, and this plan set.
- The Village of Mount Horeb, WI must be notified at least two (2) working days prior to the commencement or resumption of any work.
- The contractor shall coordinate all permit and inspection requirements with responsible local, state, and federal agencies. The contractor shall include the costs of this coordination and all inspection fees in the bid price.
- All work performed by the contractor shall come with a warranty against defects in workmanship and materials. This warranty period shall run concurrent with the required warranty periods the owner must provide to each local government agency, as a condition of the permit.
- The contractor will be held solely responsible for and shall take precautions necessary to avoid property damage to adjacent properties during the construction of this project.
- All structures, inlets, pipes, swales, roads and public egresses must be kept clean and free of dirt and debris at all times.
- Any field tiles encountered during construction shall be recorded showing size, location, and depth by the contractor, and either reconnected and rerouted or connected to the storm sewer system. The owner shall be notified immediately upon encountering any tile.
- The contractor shall field verify the elevations of the benchmarks prior to commencing work. The contractor shall also field verify the location and elevation of existing pipe inverts, curb or pavement where matching into existing work. The contractor shall field verify horizontal control by referencing property corners to known property lines. Notify the engineer of discrepancies in either vertical or horizontal control prior to proceeding.
- All elevations are on NAVD 88 datum.
- Parking areas designated as A.D.A. and all sidewalk shall be compliant with state and local A.D.A. requirements.
- Tactile warning plates per WisDOT specifications shall be placed at all locations where sidewalk that is to be replaced intersects public roads and at locations indicated in this plan set.
- The contractor shall verify the location of all utilities in the field prior to construction. This includes sanitary sewer, water main, storm sewer, Charter Communications, Madison Gas and Electric, if any. The Diggers Hotline number is 1-800-242-8511. Property corners shall be carefully protected until they have been referenced by a Professional Land Surveyor.
- The contractor shall keep careful measurements and records of all construction and shall furnish the Engineer, the Owner and the Village with record drawings in a digital format compatible with AutoCAD Release 14 upon completion of his work.
- Any excess dirt or materials shall be placed by the contractor onsite at the owner's direction or as indicated on the plans.
- Notify the owner and Village of Mount Horeb, WI of any existing wells. Obtain permit from the Wisconsin DNR. Cap and abandon wells in accordance with local, state, and federal regulations.
- Finish grade shall in all areas not specifically reserved for storm water management shall drain freely. No ponding shall occur. Tolerances to be observed will be measured to the nearest 0.04 of a foot for paved surfaces and 0.10 of a foot for unpaved areas.

## VICINITY MAP



## INDEX OF SHEETS

SHEET NUMBER	SHEET TITLE
C-001	COVER
C-002	GENERAL NOTES
C-003	GENERAL NOTES
C-004	ALTA
C-005	ALTA
C-100	REMOVALS PLAN
C-101	LAYOUT PLAN
C-201	GRADING PLAN
C-202	DRAINAGE PLAN
C-301	UTILITY PLAN
C-302	UTILITY PLAN - SANITARY MAIN EXTENSION
C-401	SWPPP
C-402	SWPPP - SANITARY MAIN EXTENSION
C-601	CASEY'S DETAILS
C-602	CASEY'S DETAILS
C-603	DETAILS
C-604	WISDOT DETAILS
C-605	WISDOT DETAILS
C-701	LANDSCAPING PLAN

## APPROVAL

## DATE

VILLAGE OF MOUNT HOREB, WI	PENDING
STATE OF WISCONSIN DSPS (PLUMBING)	PENDING
STATE OF WISCONSIN DNR (NOI)	PENDING

## UTILITY OFFICIALS

<b>PUBLIC WORKS, WATER, &amp; ELECTRIC</b> VILLAGE OF MOUNT HOREB, WI DAVE HERFEL WATER AND ELECTRIC SUPERINTENDENT (608) 437-3300 DAVE.HERFEL@MOUNTHORBWI.INFO	<b>BUILDING INSPECTION:</b> VILLAGE OF MOUNT HOREB, WI DAVID GERATHS (608) 437-6884 X 116 MHBUILDINGINSPECTOR@MOUNTHOREBWI.INFO
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<b>SEWER DISTRICT:</b> VILLAGE OF MOUNT HOREB JOHN KLIEN WASTEWATER SUPERVISOR (608) 252-7373 JOHN.KLIEN@MOUNTHOREB.INFO
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<b>VILLAGE ADMINISTRATION</b> VILLAGE OF MOUNT HOREB NICHOLAS OWEN VILLAGE ADMINISTRATOR (608) 437-6884 X 109 NIC.OWEN@MOUNTHOREBWI.INFO
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<b>WISDOT PERMIT OFFICE</b> WISDOT BUREAU OF HIGHWAY MAINTENANCE BOB FASICK (608) 437-3101 ROBERT.FASICK@DOT.WI.GOV
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<b>PHONE &amp; INTERNET SERVICE</b> CHARTER COMMUNICATIONS (833) 267-6094
---

<b>GAS SERVICE</b> MADISON GAS AND ELECTRIC CO. (608) 252-7373
--

<b>HEALTH DEPARTMENT</b> PUBLIC HEALTH - MADISON AND DANE COUNTY (608) 242-6515 HEALTH@PUBLICHEALTHMDC.COM
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## OWNER:



CASEY'S MARKETING COMPANY  
ONE CONVENIENCE BLVD  
ANKENY, IA 50021

JAMES VILMAIN  
(515) 445-6402

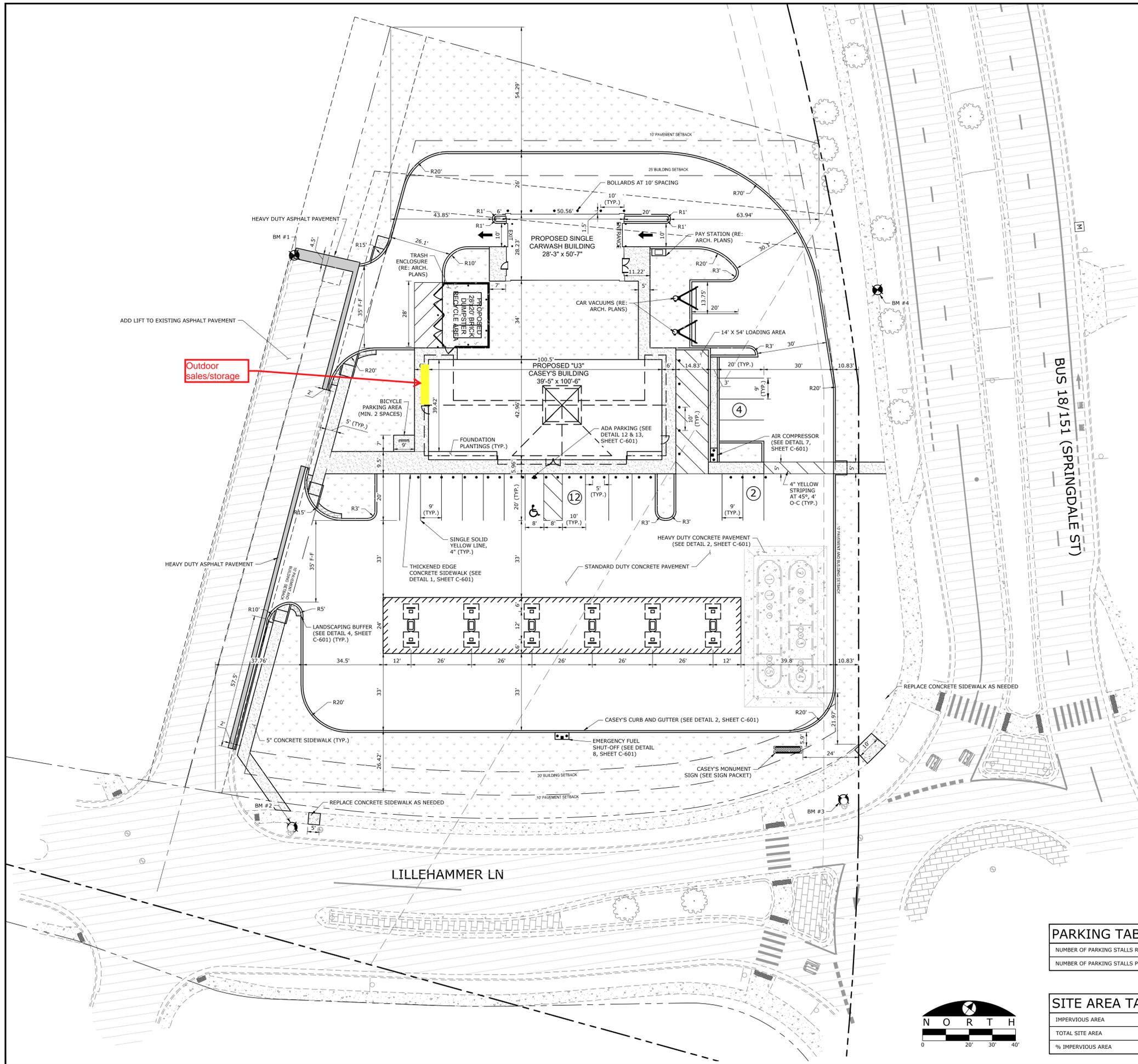
## ENGINEER:



5291 ZENITH PARKWAY  
LOVES PARK, IL 61111  
VOICE: (815) 484-4300  
FAX: (815) 484-4303

www.arcdesign.com  
Design Firm License No. 2411-11

ARC DESIGN RESOURCES INC.		5291 ZENITH PARKWAY LOVES PARK, IL 61111 VOICE: (815) 484-4300 FAX: (815) 484-4303		www.arcdesign.com Design Firm License No. 194-001334	
<b>CASEY'S GENERAL STORE - MOUNT HOREB, WI</b>					
<b>19136</b>					
PROJECT LOCATION & OWNER NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST MOUNT HOREB, WI 53572	DESIGNATOR 1. CLIENT REVIEW 2. CLIENT REVIEW 3. AGENCY REVIEW	DATE 03/20/2020 05/01/2020 05/06/2020	FOR CONSTRUCTION REVISION REVISION	NO. 1 2 3 4 5 6	DESCRIPTION COVER COVER COVER COVER COVER COVER
CASEY'S MARKETING COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 JAMES VILMAIN (515) 445-6402	4. .... 5. .... 6. .... 7. .... 8. ....	.... .... .... .... ....	.... .... .... .... ....	.... .... .... .... ....	.... .... .... .... ....
DRAWN BY KG	CHECKED BY LND	IN CHARGE RCS			



### LEGEND

- PROPERTY LINE
- LOT LINE
- EXISTING RIGHT-OF-WAY
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- LIGHT POLE AND FIXTURE
- PROPOSED ADA PARKING SPACE
- NUMBER OF PROPOSED PARKING SPACES IN A ROW
- PROPOSED PARKING STALLS
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STANDARD DUTY CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- EXISTING ASPHALT PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED TURF AREA
- PROPOSED LANDSCAPING BUFFERS
- OUTDOOR STORAGE AREA

- ### LAYOUT NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS, CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL OR HORIZONTAL CONTROL PRIOR TO PROCEEDING WITH WORK.
  2. REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING DIMENSIONS.
  3. DIMENSIONS THAT LOCATE THE BUILDING ARE MEASURED TO THE OUTSIDE FACE OF THE BUILDING.
  4. SIGN CONSTRUCTION AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
  5. COORDINATE WORK WITHIN EACH ROW WITH THE VILLAGE OF MOUNT HOREB, WI. TRAFFIC CONTROL SHALL CONFORM TO ALL APPLICABLE STANDARDS FOR WORK WITHIN THE R.O.W.
  6. ALL RADII ARE DIMENSIONED TO THE BACK OF CURB.
  7. ALL CURB AND GUTTER IS INTEGRAL TO PAVEMENT UNLESS NOTED OTHERWISE. REFER TO THE DETAIL SHEETS FOR CURB DETAILS.
  8. SOME FIELD ADJUSTMENTS MAY BE NECESSARY AT POINTS WHERE PROPOSED PAVEMENT, CURB AND SIDEWALKS MEET EXISTING PAVEMENT, CURB AND SIDEWALKS. REVIEW ANY REQUIRED CHANGES WITH ENGINEER PRIOR TO CONSTRUCTION OF WORK.
  9. ELECTRICAL CIRCUITRY TO SITE LIGHTING AND MONUMENT SIGN SHOWN ON ARCHITECTURAL PLANS.
  10. FOR REQUIRED PAVEMENT REMOVAL ADJACENT TO THE CURB AND GUTTER REMOVAL WITHIN RIGHT OF WAY, A FULL DEPTH SAWCUT SHALL BE UTILIZED AND SHALL NOT BE LESS THAN 2' IN WIDTH.
- FOR ALL PAVEMENT PATCHING WITHIN THE RIGHT OF WAY THE BACKFILL MATERIAL USED SHALL BE CONTROLLED LOW STRENGTH MATERIAL UP TO THE BOTTOM OF THE PAVEMENT. THE THICKNESS OF THE HMA PAVEMENT REPLACEMENT SHALL BE A MINIMUM OF THE SAME THICKNESS AS THE EXISTING PAVEMENT STRUCTURE. THE MIXES USED SHALL BE HMA BINDER COURSE TO WISDOT STANDARDS
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION, COORDINATION AND OBTAINING APPROVAL OF A TRAFFIC MANAGEMENT PLAN IF CLOSURES OF LANES EXCEED THE CRITERIA ESTABLISHED IN THE BDE MANUAL.

### BENCHMARKS

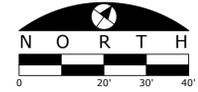
DESCRIPTION	ELEVATION (USGS)
<b>BENCHMARK 1</b> X-CUT ON ACCESS ROADWAY CURB, APPROXIMATELY 282' NORTH AND 15' WEST OF CL OF LILLEHAMMER LANE	1182.53
<b>BENCHMARK 2</b> TOP BURY BOLT ON FIRE HYDRANT AT NE CORNER OF ACCESS ROADWAY AND LILLEHAMMER LN	1192.68
<b>BENCHMARK 3</b> TOP BURY BOLT ON FIRE HYDRANT AT NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST	1187.73
<b>BENCHMARK 4</b> X CUT ON SIDEWALK IN WEST US-18/151 ROW, APPROXIMATELY 75' SOUTH OF NE PROPERTY CORNER	1181.37

### PARKING TABLE

NUMBER OF PARKING STALLS REQUIRED	18 (1 - A.D.A.)
NUMBER OF PARKING STALLS PROPOSED	18 (1 - A.D.A.)

### SITE AREA TABLE

IMPERVIOUS AREA	51,217 SF (1.18 AC)
TOTAL SITE AREA	75,837 SF (1.74 AC)
% IMPERVIOUS AREA	67.5%



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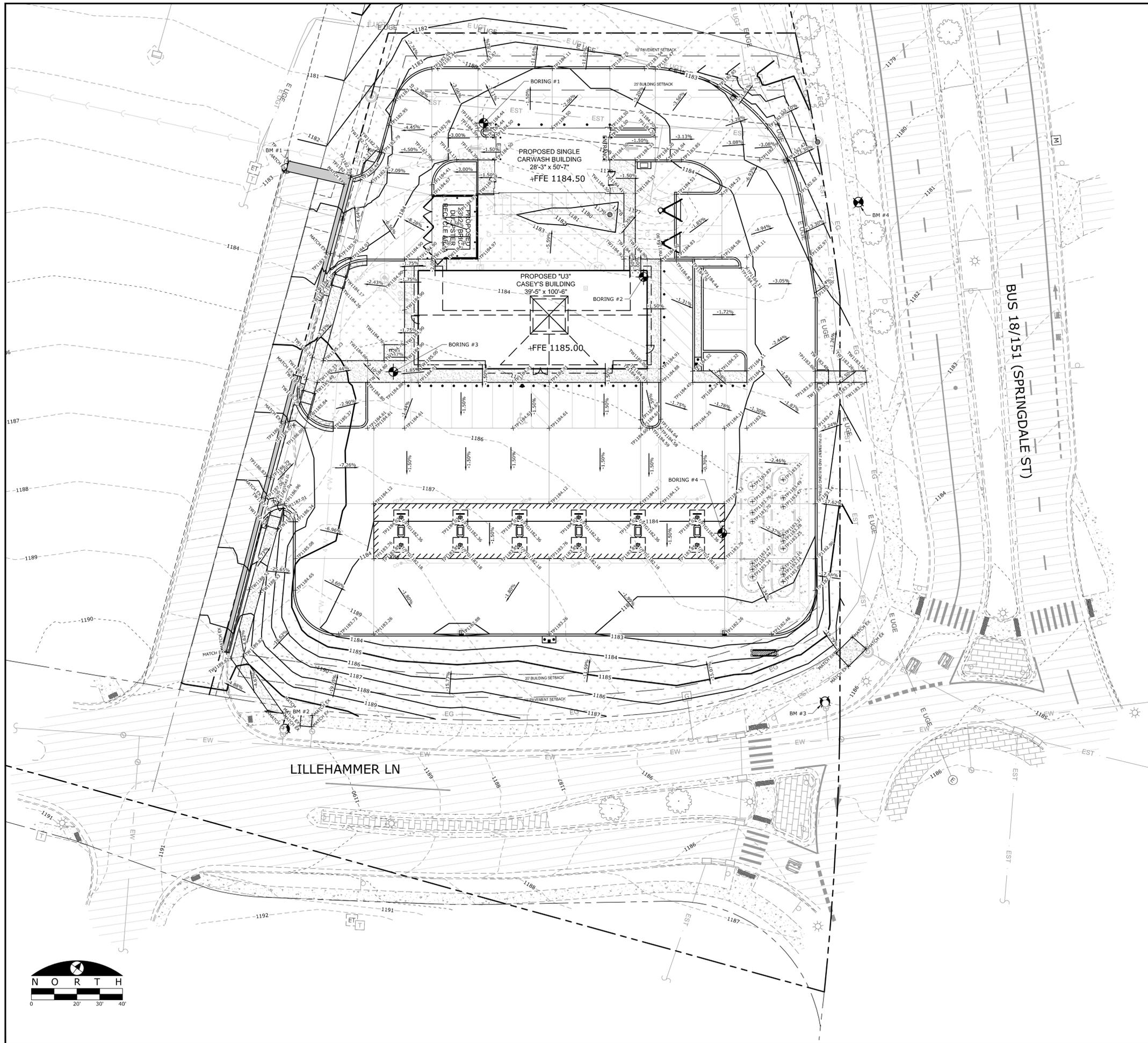
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Design Firm License No. 184-001334

CASEY'S GENERAL STORE - MOUNT HOREB, WI 19136

PROJECT LOCATION & OWNER	DESIGNED FOR	DATE	FOR CONSTRUCTION
NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST MOUNT HOREB, WI 53572 CASEY'S MARKETING COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 JAMES WILKINSON (515) 445-6402	1. CLIENT REVIEW	03/20/2020	FOR CONSTRUCTION
	2. REVISED		REVISIONS
	3. REVISED		1. REVISED
	4. REVISED		2. REVISED
	5. REVISED		3. REVISED
	6. REVISED		4. REVISED
7. REVISED		5. REVISED	
8. REVISED		6. REVISED	

LAYOUT PLAN  
C-101



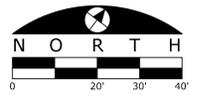
### LEGEND

	PROPERTY LINE
	LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED CURB AND GUTTER
	EXISTING CURB AND GUTTER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED GRADE BREAK LINE
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED CATCH BASIN OR MANHOLE
	PROPOSED CLEANOUT
	DIRECTION OF SHEET FLOW
	1.6% SLOPE
	TOP OF WALK ELEVATION
	TOP OF PAVEMENT ELEVATION
	FINISHED GRADE ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	BENCHMARK
	EMERGENCY OVERLAND FLOW ROUTE

- ### GRADING NOTES
1. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION AND ELEVATION OF EXISTING PIPE INVERTS, FLOOR ELEVATIONS CURB OR PAVEMENT WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL OR VERTICAL CONTROL BY REFERENCING SHOWN COORDINATES OR ELEVATIONS TO HORIZONTAL OR VERTICAL CONTROL POINTS PRIOR TO PROCEEDING WITH WORK.
  2. ALL UNSURFACED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL AND SODDED (OR SEEDED WHERE NOTED) AND WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
  3. ALL STORM SEWER PIPE IS TO BE REINFORCED CONCRETE CULVERT PIPE CLASS IV UNLESS OTHERWISE NOTED. WHERE HDPE OR PVC PIPE IS LISTED AS ACCEPTABLE MATERIALS, PVC SDR 35, HDPE DOUBLE WALL (ADS N-12), OR PVC SCHEDULE 40 MAY BE USED AT THE CONTRACTOR'S DISCRETION.
  4. THE MAXIMUM SLOPE RATIO ON CUT/FILL SLOPES IS 3.5 HORIZONTAL TO 1 VERTICAL.
  5. PROPERTY CORNERS SHALL BE CAREFULLY PROTECTED UNTIL THEY HAVE BEEN REFERENCED BY A PROFESSIONAL LAND SURVEYOR. PROPERTY MONUMENTS DISTURBED BY THE CONTRACTOR'S OPERATION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
  6. CONTRACTOR SHALL SET ALL CLEANOUT, MANHOLE AND INLET CASTINGS, FIRE HYDRANTS AND VALVE BOXES TO FINISHED GRADE.
  7. ALL PROPOSED PAVED AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
  8. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
  9. ROOF AND CANOPY DRAIN SHALL INCORPORATE BOOT PER DETAIL. 6\"/>

### BENCHMARKS

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**CASEY'S GENERAL STORE - MOUNT HOREB, WI**

PROJECT LOCATION & OWNER  
NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST  
MOUNT HOREB, WI 53572

CASEY'S MARKETING COMPANY  
ONE CONVENIENCE BLVD  
ANKENY, IA 50021  
JAMES WILKIN  
(515) 445-6402

DRAWN BY: KG  
CHECKED BY: LND  
IN CHARGE: RCS

DATE: 03/20/2020

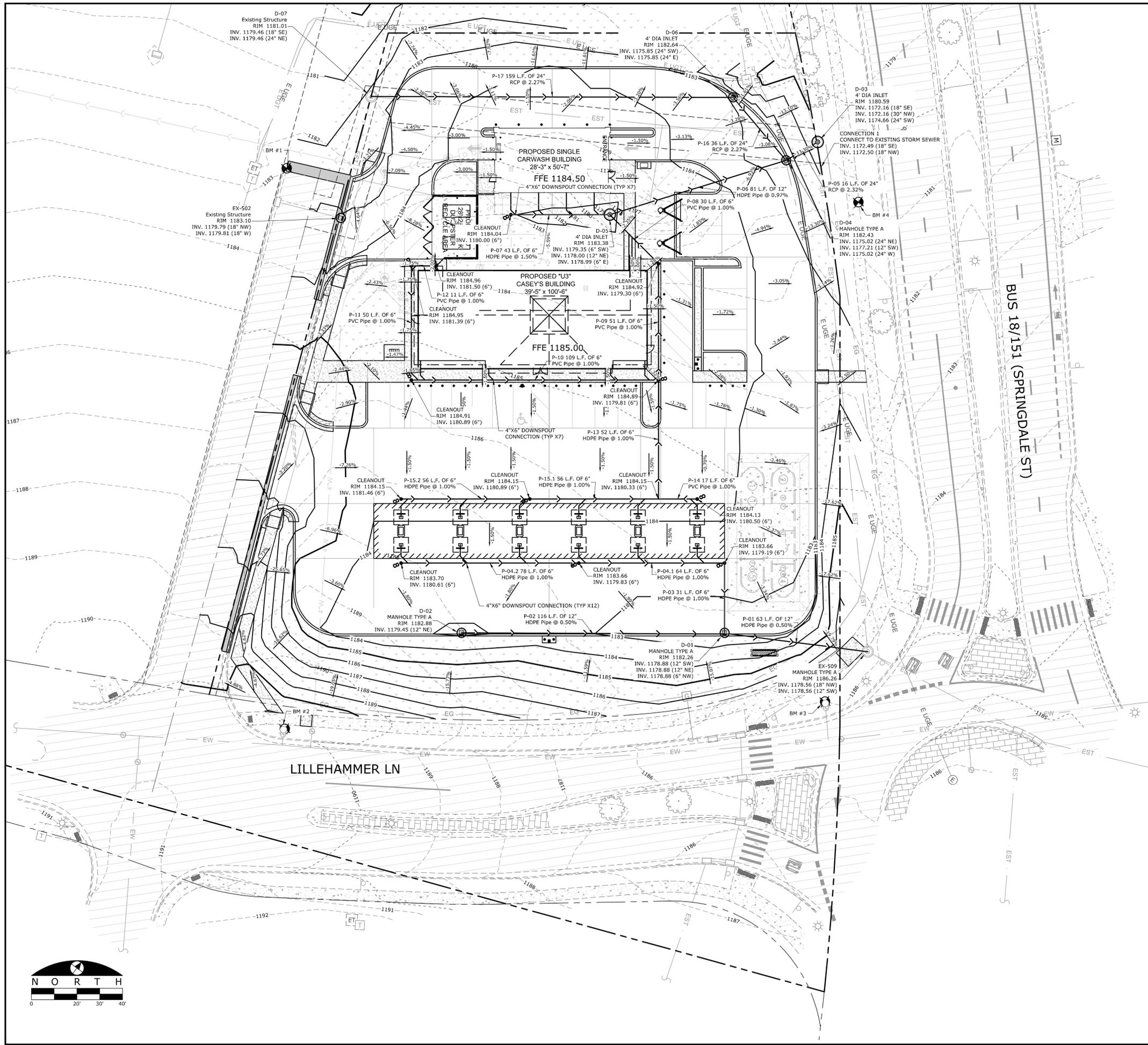
REVISIONS:

NO.	DESCRIPTION	DATE
1	CLIENT REVIEW	03/20/2020
2	CLIENT REVIEW	05/01/2020
3	AGENCY REVIEW	05/06/2020
4		
5		
6		
7		
8		

**19136**

**GRADING PLAN**

**C-201**



### LEGEND

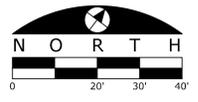
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	EXISTING CURB AND GUTTER
	PROPOSED STORM SEWER
	EXISTING STORM SEWER
	PROPOSED GRADE BREAK LINE
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED WATER SERVICE
	PROPOSED SANITARY SEWER
	PROPOSED GAS MAIN
	PROPOSED UNDERGROUND ELECTRIC SERVICE
	PROPOSED TELEPHONE SERVICE
	EXISTING MANHOLE OR CATCH BASIN
	PROPOSED CATCH BASIN OR MANHOLE
	PROPOSED CLEANOUT
	DIRECTION OF SHEET FLOW

### RIM ELEV. DEFINITION

 UNPAVED AREA - WISDOT TYPE "C" FRAME AND GRATE RIM ELEV.	 CURB NEENAH R-3067 W/TYPE L GRATE AND MOUNTABLE CURB BOX OR EQUAL RIM ELEV.
 PAVED SOLID H-20 COVER OVER ADS STRUCTURE RIM ELEV.	SEE SHEET C-602 - CASEY'S DETAILS FOR MORE INFORMATION

### BENCHMARKS

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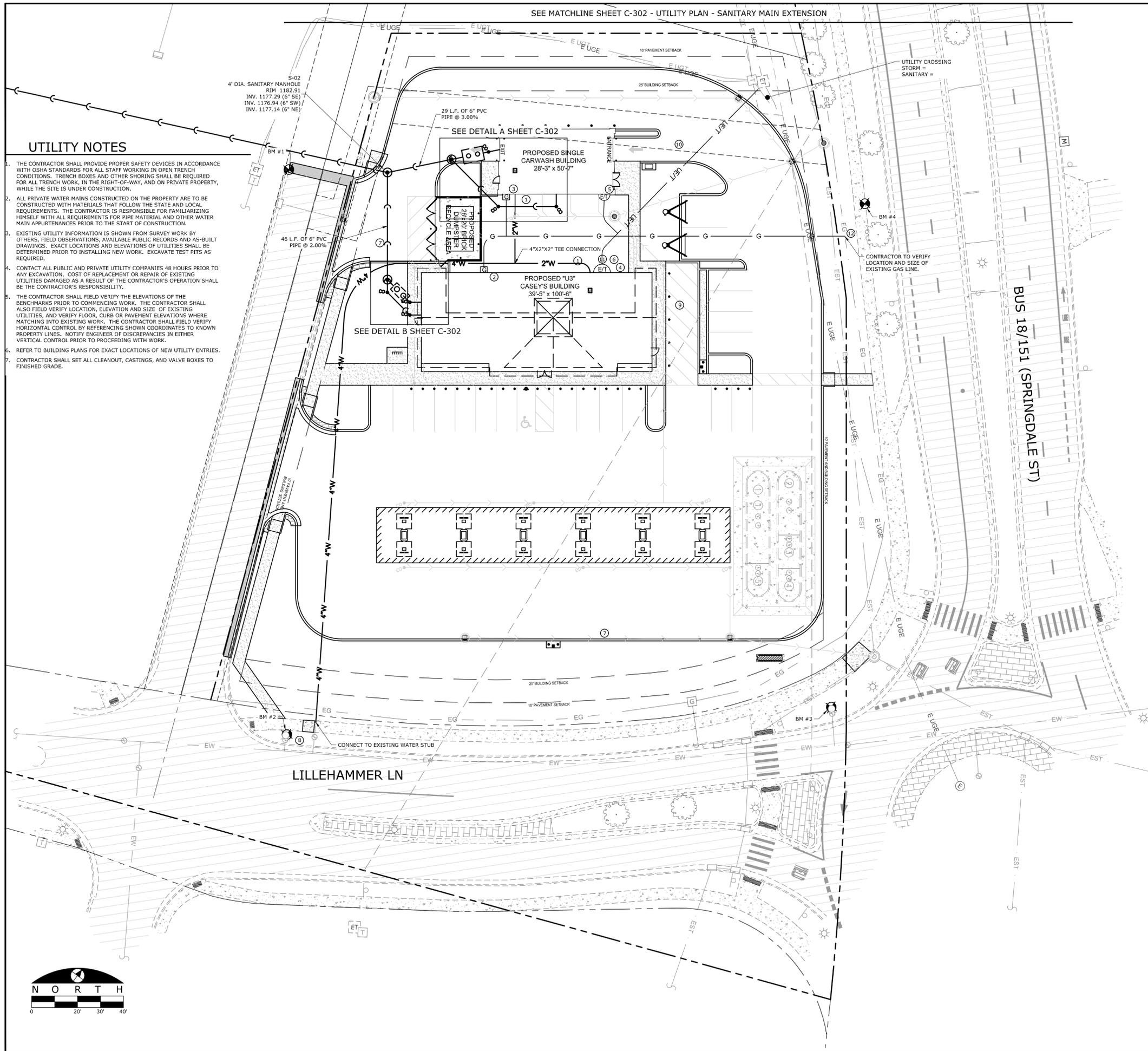
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**CASEY'S GENERAL STORE - MOUNT HOREB, WI 19136**

PROJECT LOCATION & OWNER	REVISIONS	FOR CONSTRUCTION
NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST MOUNT HOREB, WI 53572	1. CLIENT REVIEW 03/20/2020	----
CASEY'S MARKETING COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 JAMES WILMATH (515) 445-6402	2. CLIENT REVIEW 05/01/2020	1. ....
	3. AGENCY REVIEW 05/06/2020	2. ....
	4. ....	3. ....
	5. ....	4. ....
	6. ....	5. ....
	7. ....	6. ....
8. ....	8. ....	6. ....

DRAINAGE PLAN

C-202



**UTILITY NOTES**

1. THE CONTRACTOR SHALL PROVIDE PROPER SAFETY DEVICES IN ACCORDANCE WITH OSHA STANDARDS FOR ALL STAFF WORKING IN OPEN TRENCH CONDITIONS. TRENCH BOXES AND OTHER SHORING SHALL BE REQUIRED FOR ALL TRENCH WORK, IN THE RIGHT-OF-WAY, AND ON PRIVATE PROPERTY, WHILE THE SITE IS UNDER CONSTRUCTION.
2. ALL PRIVATE WATER MAINS CONSTRUCTED ON THE PROPERTY ARE TO BE CONSTRUCTED WITH MATERIALS THAT FOLLOW THE STATE AND LOCAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF WITH ALL REQUIREMENTS FOR PIPE MATERIAL AND OTHER WATER MAIN APPURTENANCES PRIOR TO THE START OF CONSTRUCTION.
3. EXISTING UTILITY INFORMATION IS SHOWN FROM SURVEY WORK BY OTHERS, FIELD OBSERVATIONS, AVAILABLE PUBLIC RECORDS AND AS-BUILT DRAWINGS. EXACT LOCATIONS AND ELEVATIONS OF UTILITIES SHALL BE DETERMINED PRIOR TO INSTALLING NEW WORK. EXCAVATE TEST PITS AS REQUIRED.
4. CONTACT ALL PUBLIC AND PRIVATE UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION. COST OF REPLACEMENT OR REPAIR OF EXISTING UTILITIES DAMAGED AS A RESULT OF THE CONTRACTOR'S OPERATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. THE CONTRACTOR SHALL FIELD VERIFY THE ELEVATIONS OF THE BENCHMARKS PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL ALSO FIELD VERIFY LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES, AND VERIFY FLOOR, CURB OR PAVEMENT ELEVATIONS WHERE MATCHING INTO EXISTING WORK. THE CONTRACTOR SHALL FIELD VERIFY HORIZONTAL CONTROL BY REFERENCING SHOWN COORDINATES TO KNOWN PROPERTY LINES. NOTIFY ENGINEER OF DISCREPANCIES IN EITHER VERTICAL CONTROL PRIOR TO PROCEEDING WITH WORK.
6. REFER TO BUILDING PLANS FOR EXACT LOCATIONS OF NEW UTILITY ENTRIES.
7. CONTRACTOR SHALL SET ALL CLEANOUT, CASTINGS, AND VALVE BOXES TO FINISHED GRADE.

**LEGEND**

- PROPERTY LINE
- 10"W --- EXISTING WATER MAIN
- W --- PROPOSED WATER SERVICE
- EXISTING SANITARY SEWER
- C --- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- G --- EXISTING GAS MAIN
- G --- PROPOSED GAS MAIN
- E --- PROPOSED UNDERGROUND ELECTRIC SERVICE
- U/T --- PROPOSED TELEPHONE SERVICE
- O/U --- EXISTING OVERHEAD UTILITY LINES
- [E] --- PROPOSED TRANSFORMER
- [X] --- EXISTING FIRE HYDRANT ASSEMBLY
- [W] --- EXISTING WATER VALVE
- [O] --- PROPOSED WATER VALVE
- [M] --- EXISTING MANHOLE OR CATCH BASIN
- [S] --- PROPOSED SANITARY MANHOLE
- [C] --- PROPOSED SANITARY CLEANOUT
- [G] --- PROPOSED GREASE TRAP (SEE ARCH PLANS FOR DETAIL)
- [M] --- EXISTING SANITARY MANHOLE
- [P] --- EXISTING UTILITY POLE
- [P] --- PROPOSED UTILITY POLE
- [L] --- EXISTING LIGHT POLE
- [L] --- LIGHT POLE AND FIXTURE

**UTILITY KEY LEGEND**

- 1 WATER METER AND PROPOSED 2" CTS, HDPE, SDR9 C5-200 PSI WATER SERVICE. CONTRACTOR SHALL PURCHASE WATER METER THROUGH VILLAGE OF MOUNT HOREB, WI.
- 2 C-STORE GAS SERVICE ENTRY AND METER (RE: ARCH). 1.5" SCHEDULE 40 IRON PIPE, CONNECTION LOAD IS 680 MBH. TOTAL CONNECTED LOAD IS 680,000 BTU, 618 CF/HR. HOUSE PRESSURE IS 7" W.C. COORDINATE INSTALLATION AND CONNECTION WITH MADISON GAS AND ELECTRIC.
- 3 CAR WASH GAS SERVICE ENTRY AND METER (RE: ARCH). REQUIRES 7" W.C. HOUSE PRESSURE TOTAL UNCONNECTED LOAD, 7" MBH INPUT. COORDINATE INSTALLATION AND CONNECTION WITH MADISON GAS AND ELECTRIC.
- 4 PROPOSED ELECTRIC. C-STORE REQUIRES 3 PHASE, 800 OR 1200 AMP, 120/208 VOLTS, 4 WIRE.
- 5 CARWASH REQUIRES 3 PHASE, 600 AMP, 120/208 VOLTS, 4 WIRE SERVICE. INCLUDED 2 LOW VOLTAGE 1" CONDUITS: (1) 1" TO FRONT COUNTER, (1) 1" TO SAGE NET AREA, (2) - 2" SPARES TO STORE ELECTRICAL PANEL ROOM. CONTRACTOR TO COORDINATE CONNECTION WITH THE VILLAGE OF MOUNT HOREB.
- 6 PROPOSED PHONE SERVICE (20 PAIR, 8 LINES)
- 7 STORM SEWER/UNDERGROUND DETENTION, REFER TO C-202 - DRAINAGE PLAN
- 8 CONNECT TO EXISTING WATERMAIN WITH A 2" STAINLESS STEEL TAPPING SLEEVE (MUELLER H615 MECHANICAL JOINT TAPPING SLEEVE OR APPROVED EQUAL). COORDINATE CONNECTION WITH THE VILLAGE OF MOUNT HOREB, WI PUBLIC WORKS DEPARTMENT. FIELD VERIFY EXISTING WATERMAIN LOCATION & SIZE.
- 9 1000 GAL. BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES. (RE: ARCH)
- 10 3000 GAL. OIL/SAND INTERCEPTOR (2 MANHOLES BELOW GRADE)
- 11 CONTRACTOR SHALL INSTALL A 4" SCH. 40 PVC CONDUIT FOR THE PROPOSED ELECTRICAL SERVICE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF THE PROPOSED SERVICE WITH THE VILLAGE OF MOUNT HOREB.
- 12 PROPOSED 3/4" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. TOTAL CONNECTED LOAD IS 200,000 BTU HOUSE PRESSURE IS 7" W.C.

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RESOURCES INC.

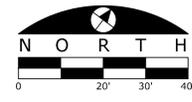
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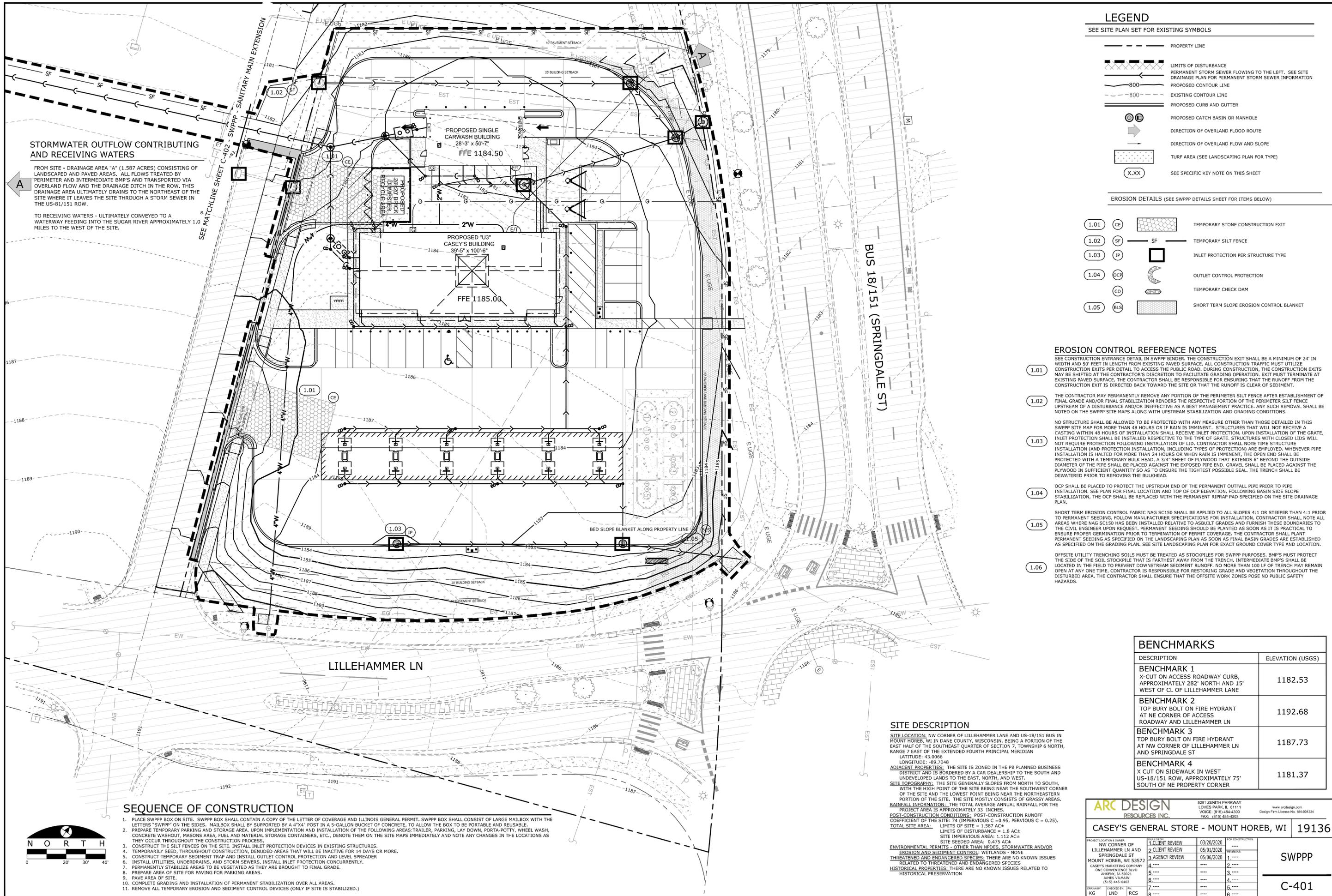
**CASEY'S GENERAL STORE - MOUNT HOREB, WI** 19136

PROJECT LOCATION & OWNER NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST MOUNT HOREB, WI 53572	DESIGNER 1. CLIENT REVIEW 03/20/2020 2. CLIENT REVIEW 05/01/2020 3. AGENCY REVIEW 05/06/2020	FOR CONSTRUCTION REVISIONS 1. .... 2. .... 3. .... 4. .... 5. .... 6. .... 7. .... 8. ....
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DRAWN BY: KG CHECKED BY: LND RCS

**UTILITY PLAN**  
C-301





### LEGEND

SEE SITE PLAN SET FOR EXISTING SYMBOLS

	PROPERTY LINE
	LIMITS OF DISTURBANCE
	PERMANENT STORM SEWER FLOWING TO THE LEFT. SEE SITE DRAINAGE PLAN FOR PERMANENT STORM SEWER INFORMATION
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	PROPOSED CURB AND GUTTER
	PROPOSED CATCH BASIN OR MANHOLE
	DIRECTION OF OVERLAND FLOOD ROUTE
	DIRECTION OF OVERLAND FLOW AND SLOPE
	TURF AREA (SEE LANDSCAPING PLAN FOR TYPE)
	SEE SPECIFIC KEY NOTE ON THIS SHEET

### EROSION DETAILS (SEE SWPPP DETAILS SHEET FOR ITEMS BELOW)

1.01	CE		TEMPORARY STONE CONSTRUCTION EXIT
1.02	SF		TEMPORARY SILT FENCE
1.03	IP		INLET PROTECTION PER STRUCTURE TYPE
1.04	OC		OUTLET CONTROL PROTECTION
	CD		TEMPORARY CHECK DAM
1.05	BLS		SHORT TERM SLOPE EROSION CONTROL BLANKET

- ### EROSION CONTROL REFERENCE NOTES
- 1.01 SEE CONSTRUCTION ENTRANCE DETAIL IN SWPPP BINDER. THE CONSTRUCTION EXIT SHALL BE A MINIMUM OF 24' IN WIDTH AND 50' FEET IN LENGTH FROM EXISTING PAVED SURFACE. ALL CONSTRUCTION TRAFFIC MUST UTILIZE CONSTRUCTION EXITS PER DETAIL TO ACCESS THE PUBLIC ROAD. DURING CONSTRUCTION, THE CONSTRUCTION EXITS MAY BE SHIFTED AT THE CONTRACTOR'S DISCRETION TO FACILITATE GRADING OPERATION. EXIT MUST TERMINATE AT EXISTING PAVED SURFACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE RUNOFF FROM THE CONSTRUCTION EXIT IS DIRECTED BACK TOWARD THE SITE OR THAT THE RUNOFF IS CLEAR OF SEDIMENT.
- 1.02 THE CONTRACTOR MAY PERMANENTLY REMOVE ANY PORTION OF THE PERIMETER SILT FENCE AFTER ESTABLISHMENT OF FINAL GRADE AND/OR FINAL STABILIZATION RENDERS THE RESPECTIVE PORTION OF THE PERIMETER SILT FENCE UPSTREAM OF A DISTURBANCE AND/OR INEFFECTIVE AS A BEST MANAGEMENT PRACTICE. ANY SUCH REMOVAL SHALL BE NOTED ON THE SWPPP SITE MAPS ALONG WITH UPSTREAM STABILIZATION AND GRADING CONDITIONS.
- 1.03 NO STRUCTURE SHALL BE ALLOWED TO BE PROTECTED WITH ANY MEASURE OTHER THAN THOSE DETAILED IN THIS SWPPP SITE MAP FOR MORE THAN 48 HOURS OR IF RAIN IS IMMINENT. STRUCTURES THAT WILL NOT RECEIVE A CASTING WITHIN 48 HOURS OF INSTALLATION SHALL RECEIVE INLET PROTECTION. UPON INSTALLATION OF THE GRATE, INLET PROTECTION SHALL BE INSTALLED RESPECTIVE TO THE TYPE OF GRATE. STRUCTURES WITH CLOSED LIDS WILL NOT REQUIRE PROTECTION FOLLOWING INSTALLATION OF LID. CONTRACTOR SHALL NOTE TIME STRUCTURE INSTALLATION (AND PROTECTION INSTALLATION, INCLUDING TYPES OF PROTECTION) ARE EMPLOYED. WHENEVER PIPE INSTALLATION IS HALTED FOR MORE THAN 24 HOURS OR WHEN RAIN IS IMMINENT, THE OPEN END SHALL BE PROTECTED WITH A TEMPORARY BULK HEAD. A 3/4" SHEET OF PLYWOOD THAT EXTENDS 6" BEYOND THE OUTSIDE DIAMETER OF THE PIPE SHALL BE PLACED AGAINST THE EXPOSED PIPE END. GRAVEL SHALL BE PLACED AGAINST THE PLYWOOD IN SUFFICIENT QUANTITY SO AS TO ENSURE THE TIGHTEST POSSIBLE SEAL. THE TRENCH SHALL BE Dewatered PRIOR TO REMOVING THE BULKHEAD.
- 1.04 OCP SHALL BE PLACED TO PROTECT THE UPSTREAM END OF THE PERMANENT OUTFLOW PIPE PRIOR TO PIPE INSTALLATION. SEE PLAN FOR FINAL LOCATION AND TOP OF OCP ELEVATION. FOLLOWING BASIN SIDE SLOPE STABILIZATION, THE OCP SHALL BE REPLACED WITH THE PERMANENT RIPRAP PAD SPECIFIED ON THE SITE DRAINAGE PLAN.
- 1.05 SHORT TERM EROSION CONTROL FABRIC NAG SC150 SHALL BE APPLIED TO ALL SLOPES 4:1 OR STEEPER THAN 4:1 PRIOR TO PERMANENT SEEDING. FOLLOW MANUFACTURER SPECIFICATIONS FOR INSTALLATION. CONTRACTOR SHALL NOTE ALL AREAS WHERE NAG SC150 HAS BEEN INSTALLED RELATIVE TO ASBUILT GRADES AND FURNISH THESE BOUNDARIES TO THE CIVIL ENGINEER UPON REQUEST. PERMANENT SEEDING SHOULD BE PLANTED AS SOON AS IT IS PRACTICAL TO ENSURE PROPER GERMINATION PRIOR TO TERMINATION OF PERMIT COVERAGE. THE CONTRACTOR SHALL PLANT PERMANENT SEEDING AS SPECIFIED ON THE LANDSCAPING PLAN AS SOON AS FINAL BASIN GRADES ARE ESTABLISHED AS SPECIFIED ON THE GRADING PLAN. SEE SITE LANDSCAPING PLAN FOR EXACT GROUND COVER TYPE AND LOCATION.
- 1.06 OFFSITE UTILITY TRENCHING SOILS MUST BE TREATED AS STOCKPILES FOR SWPPP PURPOSES. BMP'S MUST PROTECT THE SIDE OF THE SOIL STOCKPILE THAT IS FARTHEST AWAY FROM THE TRENCH. INTERMEDIATE BMP'S SHALL BE LOCATED IN THE FIELD TO PREVENT DOWNSTREAM SEDIMENT RUNOFF. NO MORE THAN 100 LF OF TRENCH MAY REMAIN OPEN AT ANY ONE TIME. CONTRACTOR IS RESPONSIBLE FOR RESTORING GRADE AND VEGETATION THROUGHOUT THE DISTURBED AREA. THE CONTRACTOR SHALL ENSURE THAT THE OFFSITE WORK ZONES POSE NO PUBLIC SAFETY HAZARDS.

### BENCHMARKS

DESCRIPTION	ELEVATION (USGS)
<b>BENCHMARK 1</b> X-CUT ON ACCESS ROADWAY CURB, APPROXIMATELY 282' NORTH AND 15' WEST OF CL OF LILLEHAMMER LANE	1182.53
<b>BENCHMARK 2</b> TOP BURY BOLT ON FIRE HYDRANT AT NE CORNER OF ACCESS ROADWAY AND LILLEHAMMER LN	1192.68
<b>BENCHMARK 3</b> TOP BURY BOLT ON FIRE HYDRANT AT NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST	1187.73
<b>BENCHMARK 4</b> X CUT ON SIDEWALK IN WEST US-18/151 ROW, APPROXIMATELY 75' SOUTH OF NE PROPERTY CORNER	1181.37

### SITE DESCRIPTION

**SITE LOCATION:** NW CORNER OF LILLEHAMMER LANE AND US-18/151 BUS IN MOUNT HOREB, WI IN DANE COUNTY, WISCONSIN, BEING A PORTION OF THE EAST HALF OF THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 6 NORTH, RANGE 7 EAST OF THE EXTENDED FOURTH PRINCIPAL MERIDIAN  
 LATITUDE: 43.0066  
 LONGITUDE: -89.7048

**ADJACENT PROPERTIES:** THE SITE IS ZONED IN THE PB PLANNED BUSINESS DISTRICT AND IS BORDERED BY A CAR DEALERSHIP TO THE SOUTH AND UNDEVELOPED LANDS TO THE EAST, NORTH, AND WEST.

**SITE TOPOGRAPHY:** THE SITE GENERALLY SLOPES FROM NORTH TO SOUTH, WITH THE HIGH POINT OF THE SITE BEING NEAR THE SOUTHWEST CORNER OF THE SITE AND THE LOWEST POINT BEING NEAR THE NORTHEASTERN PORTION OF THE SITE. THE SITE MOSTLY CONSISTS OF GRASSY AREAS.

**RAINFALL INFORMATION:** THE TOTAL AVERAGE ANNUAL RAINFALL FOR THE PROJECT AREA IS APPROXIMATELY 33 INCHES.

**POST-CONSTRUCTION CONDITIONS:** POST-CONSTRUCTION RUNOFF COEFFICIENT OF THE SITE: 74 (IMPERVIOUS C = 0.95, PERVIOUS C = 0.25).  
 TOTAL SITE AREA: LIMITS OF SITE = 1.587 AC±  
 LIMITS OF DISTURBANCE = 1.8 AC±  
 SITE IMPERVIOUS AREA: 1.112 AC±  
 SITE SEEDED AREA: 0.475 AC±

**ENVIRONMENTAL PERMITS - OTHER THAN NPDES, STORMWATER AND/OR EROSION AND SEDIMENT CONTROL:** WETLANDS - NONE  
 THREATENED AND ENDANGERED SPECIES: THERE ARE NO KNOWN ISSUES RELATED TO THREATENED AND ENDANGERED SPECIES  
 HISTORICAL PROPERTIES: THERE ARE NO KNOWN ISSUES RELATED TO HISTORICAL PRESERVATION

- ### SEQUENCE OF CONSTRUCTION
- PLACE SWPPP BOX ON SITE. SWPPP BOX SHALL CONTAIN A COPY OF THE LETTER OF COVERAGE AND ILLINOIS GENERAL PERMIT. SWPPP BOX SHALL CONSIST OF LARGE MAILBOX WITH THE LETTERS "SWPPP" ON THE SIDES. MAILBOX SHALL BE SUPPORTED BY A 4"x4" POST IN A 5-GALLON BUCKET OF CONCRETE, TO ALLOW THE BOX TO BE PORTABLE AND REUSABLE.
  - PREPARE TEMPORARY PARKING AND STORAGE AREA. UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAY DOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, MASONS AREA, FUEL AND MATERIAL STORAGE CONTAINERS, ETC., DENOTE THEM ON THE SITE MAPS IMMEDIATELY AND NOTE ANY CHANGES IN THE LOCATIONS AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.
  - CONSTRUCT THE SILT FENCES ON THE SITE. INSTALL INLET PROTECTION DEVICES IN EXISTING STRUCTURES.
  - TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENuded AREAS THAT WILL BE INACTIVE FOR 14 DAYS OR MORE.
  - CONSTRUCT TEMPORARY SEDIMENT TRAP AND INSTALL OUTLET CONTROL PROTECTION AND LEVEL SPREADER
  - INSTALL UTILITIES, UNDERDRAINS, AND STORM SEWERS. INSTALL INLET PROTECTION CONCURRENTLY.
  - PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE.
  - PREPARE AREA OF SITE FOR PAVING FOR PARKING AREAS.
  - PAVE AREA OF SITE.
  - COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS.
  - REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED.)

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LOVES PARK IL 61111  
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FAX: (815) 464-4303

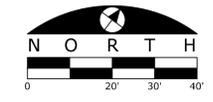
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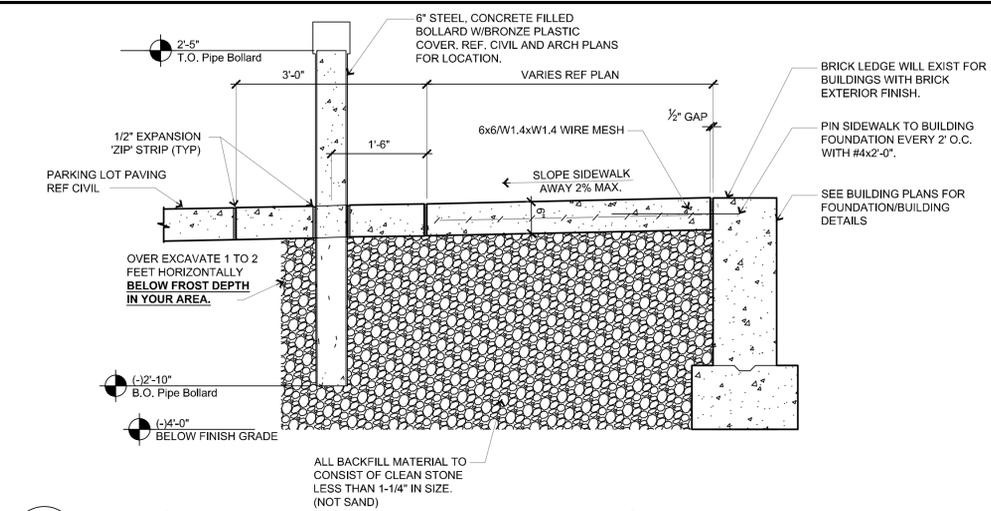
### CASEY'S GENERAL STORE - MOUNT HOREB, WI 19136

PROJECT LOCATION & OWNER	DATE	FOR
NW CORNER OF LILLEHAMMER LN AND SPRINGDALE ST MOUNT HOREB, WI 53572	1.C. CLIENT REVIEW 03/20/2020	CONSTRUCTION
CASEY'S MARKETING COMPANY ONE CONVENIENCE BLDG JAMES WILKIN (515) 445-6402	2. CLIENT REVIEW 05/01/2020	REVISION
	3. AGENCY REVIEW 05/06/2020	1. *****
	4. *****	2. *****
	5. *****	3. *****
	6. *****	4. *****
	7. *****	5. *****
	8. *****	6. *****

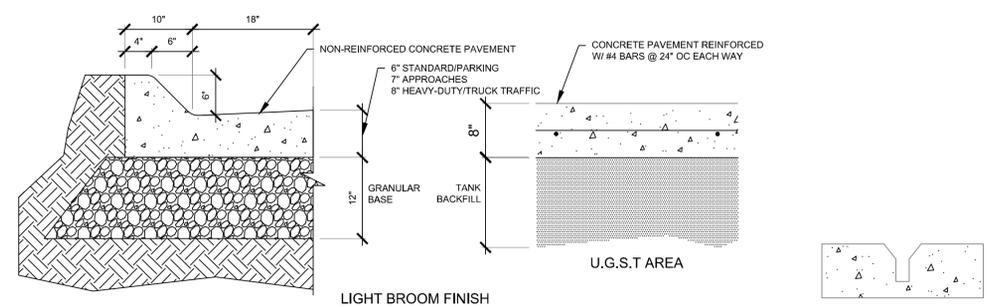
DRAWN BY: KG  
CHECKED BY: LND  
DATE: RCS

SWPPP  
C-401

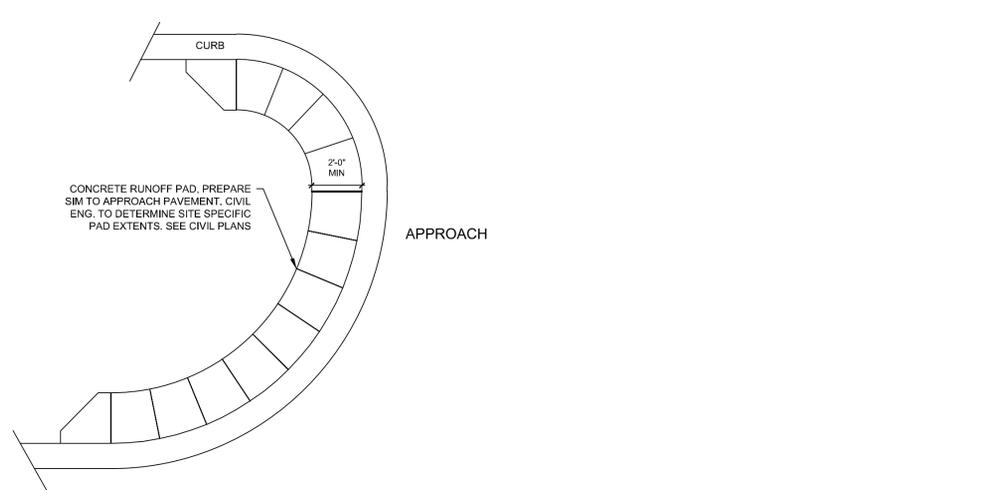




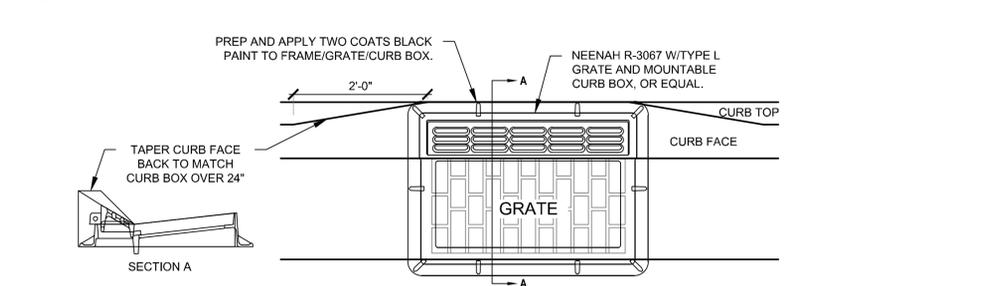
**1 TYPICAL BUILDING SIDEWALK AND BOLLARD**  
3/4" = 1'-0"



**2 CONCRETE PAVING AND CURB**  
Not to Scale

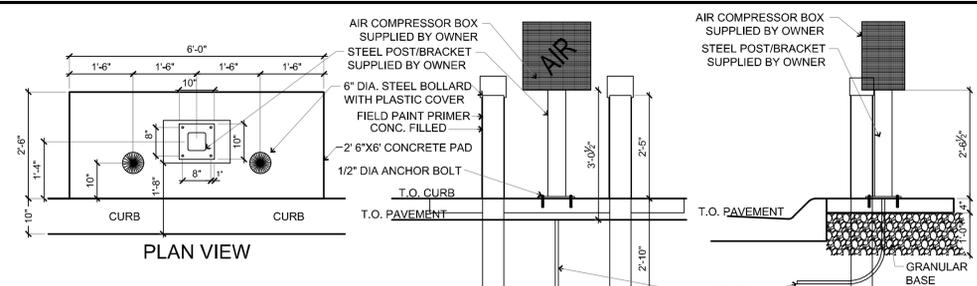


**3 PAVING SAW-CUT**  
Not to Scale

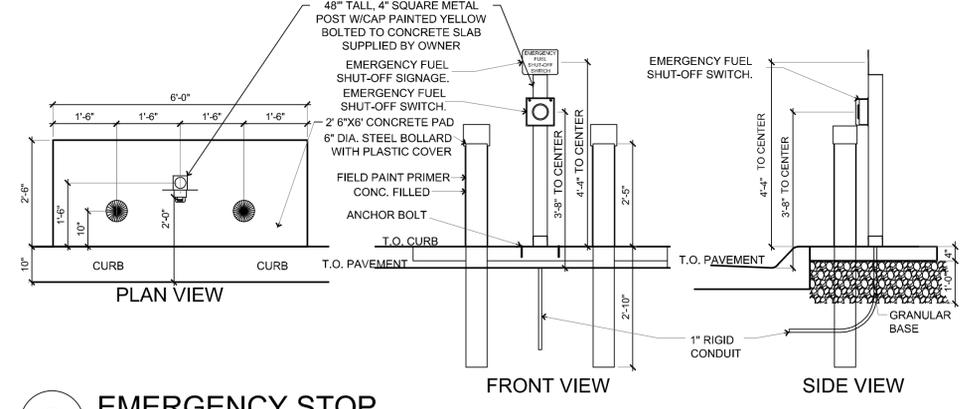


**4 LANDSCAPE PROTECTOR**  
Not to Scale

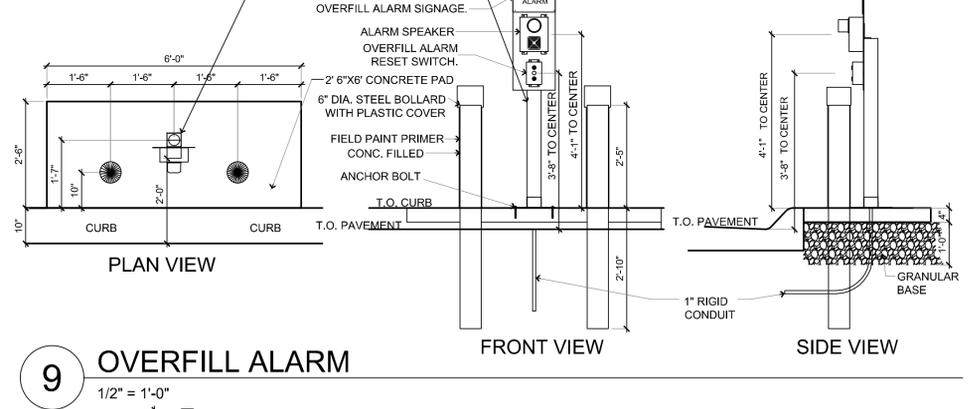
**6 CURB INLET**  
Not to Scale



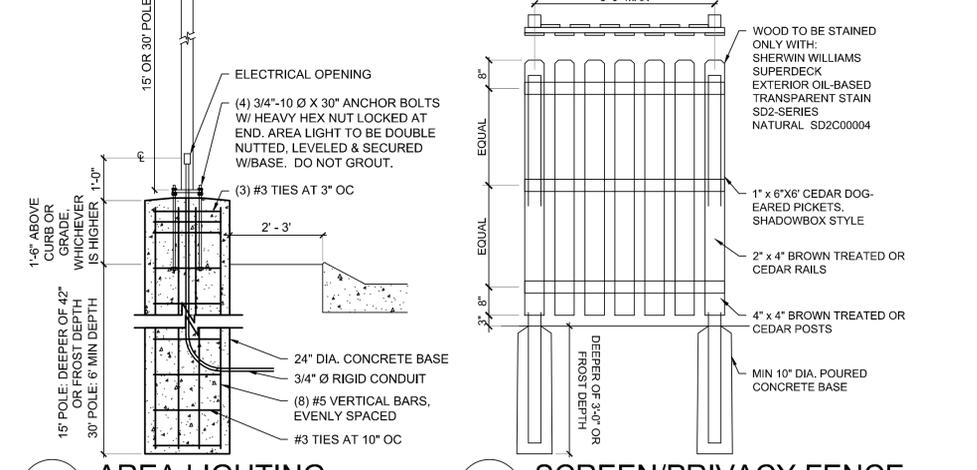
**7 AIR COMPRESSOR**  
1/2" = 1'-0"



**8 EMERGENCY STOP**  
1/2" = 1'-0"

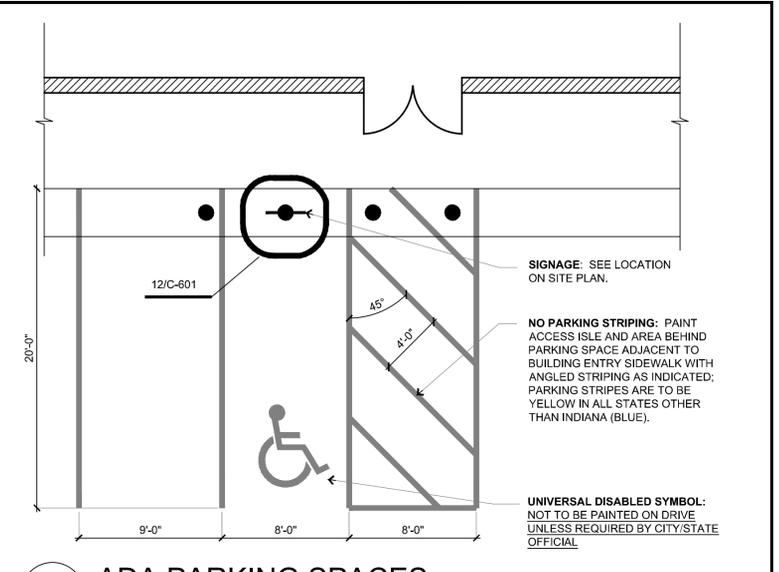


**9 OVERFILL ALARM**  
1/2" = 1'-0"

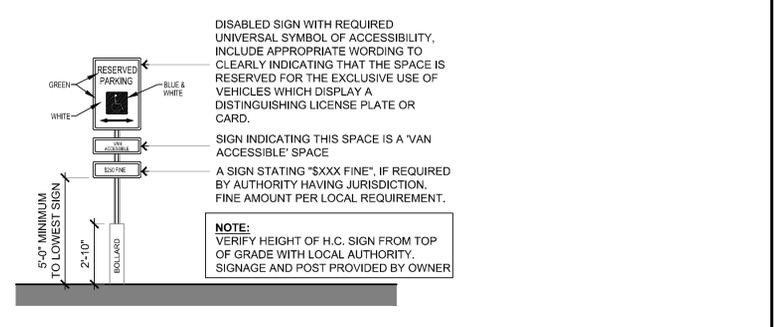


**10 AREA LIGHTING**  
1/2" = 1'-0"

**11 SCREEN/PRIVACY FENCE**  
1/2" = 1'-0"



**12 ADA PARKING SPACES**  
3/16" = 1'-0"



**13 ADA PARKING SIGN**  
1/4" = 1'-0"

**GENERAL NOTES**

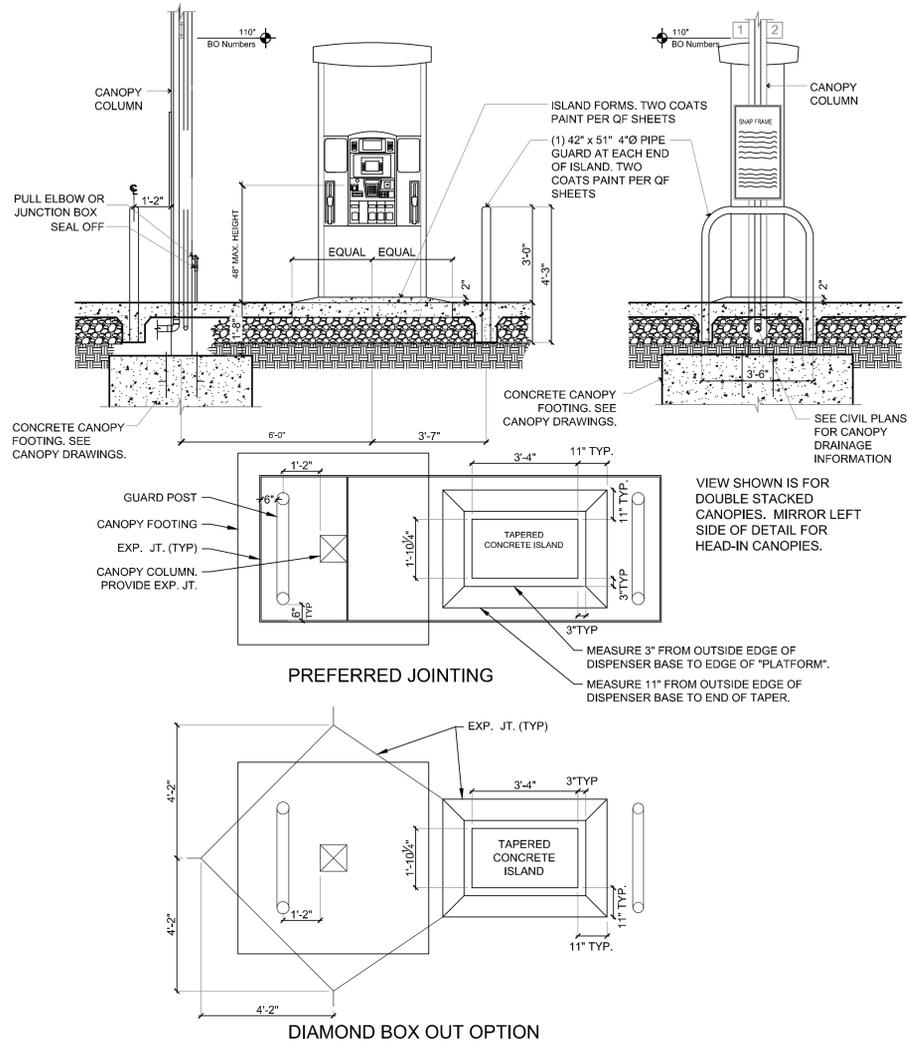
- Concrete:**
- All concrete and reinforcing work shall conform to the latest edition of the American Concrete Institute's "Standard Building Code Requirements for Reinforced Concrete," (ACI 318) and "Specifications for Structural Concrete for Buildings," (ACI 301).
  - Concrete shall use type II cement. Concrete mix designs shall meet the following requirements:

	MINIMUM 28-DAY f <sub>c</sub>	MAXIMUM W/C RATIO	SLUMP	AIR ENTRAIN.
Exterior exposed concrete	4,000 psi	0.42	4" ± 1"	6% ± 1%
  - If Contractor desires to increase slump above allowable limits to facilitate placement or pumping, this shall be done utilizing a superplasticizer approved by the Ready Mix Designer at a dosage rate provided by Ready Mix Designer.
  - The Contractor shall reject any concrete that exceeds the slump limits noted above (prior to adding superplasticizer) or concrete that can not be placed within ninety (90) minutes of batch time.
  - No aluminum shall be placed in concrete.
  - All concrete is reinforced unless specifically noted as Unreinforced. Reinforce all concrete not otherwise shown with the same reinforcing as in similar sections or areas.
  - During hot weather (80 degrees F and above), the Contractor shall comply with the recommendations ACI-305 "Hot Weather Concrete". During cold weather (40 degrees and below), the Contractor shall comply with the recommendations of ACI-306 "Cold Weather Concrete".
  - The concrete mix designs are to be submitted as a formal submittal to the Owner for acceptance PRIOR to concrete being delivered to the site.
  - Verify with local authorities the required thickness of poured concrete for approaches and parking lot.

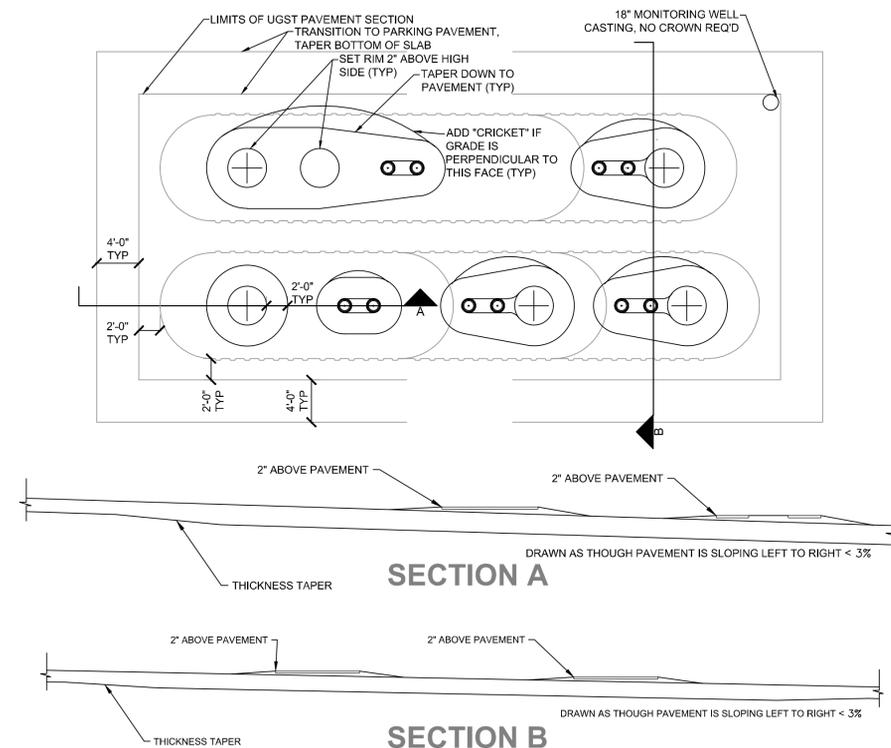
- Sub-Base:**
- Sub-base Course Under Exterior Concrete Paved Surfaces: Spread and compact sub-base in 6"-9" lifts compacted to 98% Standard Proctor.

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<b>CASEY'S GENERAL STORE - MOUNT HOREB, WI 19136</b>			FOR CONSTRUCTION		
PROJECT LOCATION & OWNER	REVISION	DATE	BY	DATE	REVISION
NE CORNER OF US-14 & BADGER PARKWAY, DARIEN, WI 53114	1. CLIENT REVIEW	03/20/2020	---	---	---
	2. CLIENT REVIEW	05/01/2020	---	---	---
	3. AGENCY REVIEW	05/06/2020	---	---	---
	4. ....	---	---	---	---
	5. ....	---	---	---	---
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	7. ....	---	---	---	---
	8. ....	---	---	---	---

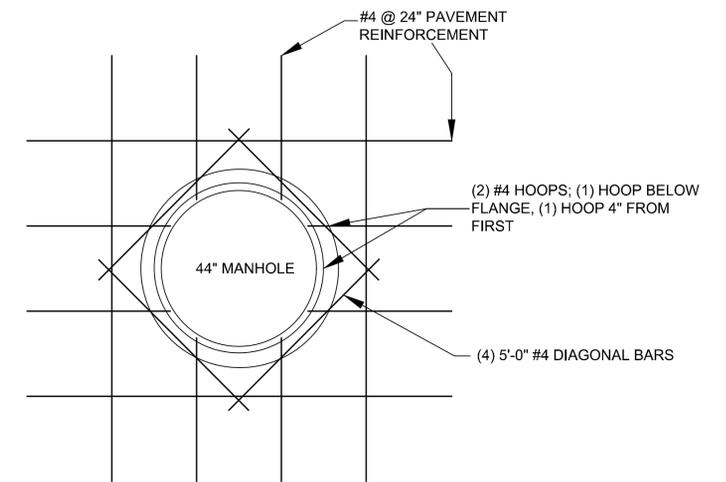
**CASEY'S DETAILS**  
**C-601**



**1** GAS TAPERED FUEL ISLAND (PREFERRED OPTION)  
Not to Scale



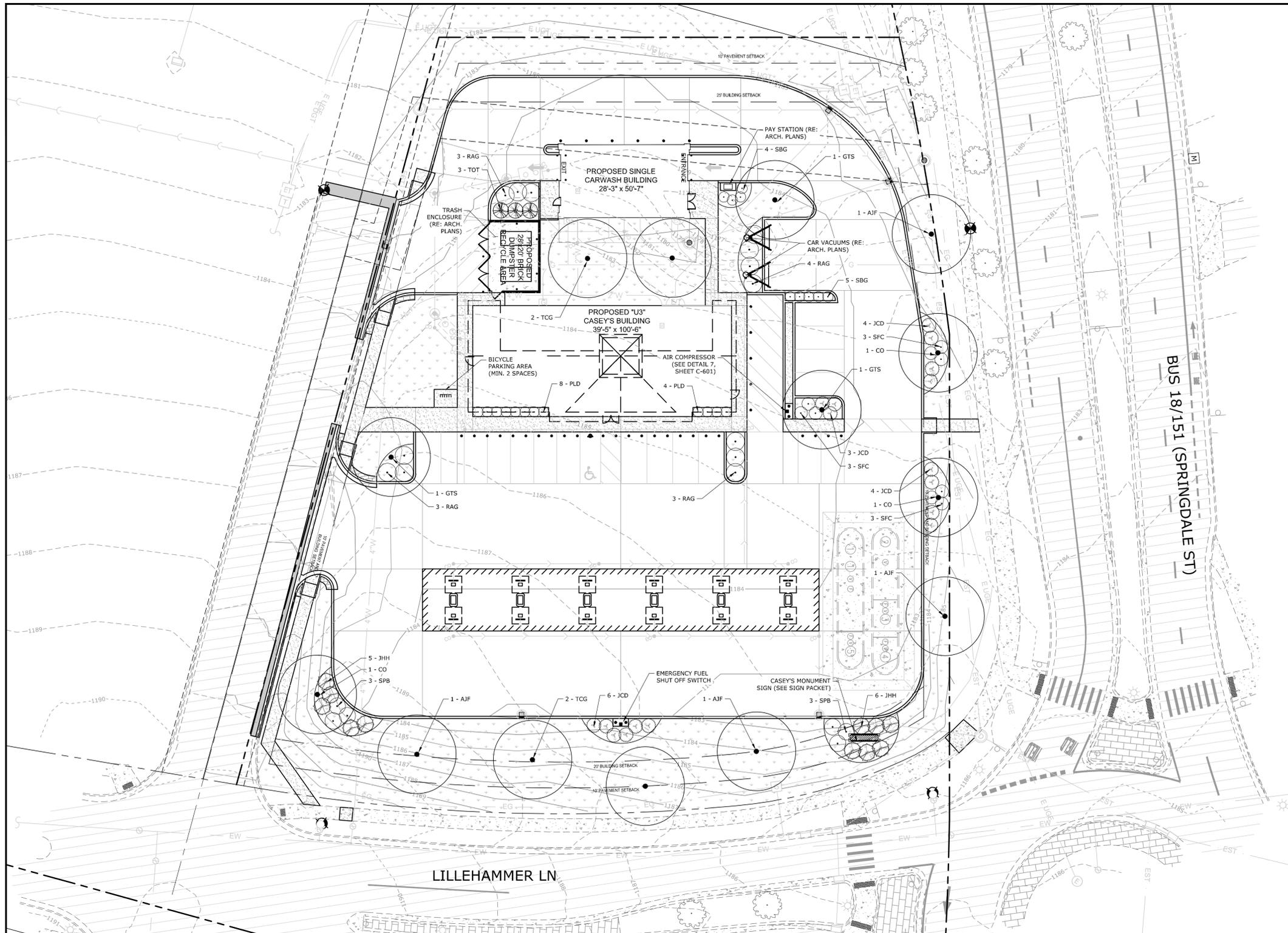
**5** UGST PAVING FOR PAVEMENT SLOPE <3%  
Not to Scale



**General Notes:**  
1 ALL REINFORCING IS CENTER OF SLAB.

**6** UGST Manhole Detail  
1/2\"/>

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<b>CASEY'S GENERAL STORE - MOUNT HOREB, WI</b>		<b>19136</b>	<b>CASEY'S DETAILS</b>
PROJECT LOCATION & OWNER NE CORNER OF US-14 & BADGER PARKWAY, DARIEN, WI 53114		REVISIONS 1. CLIENT REVIEW 03/20/2020 2. CLIENT REVIEW 05/01/2020 3. AGENCY REVIEW 05/06/2020	
CASEY'S MARKETING COMPANY ONE CONVENIENCE BLVD ANGLEVILLE, IA 50201 RYAN STEVENS (515) 466-8709		FOR CONSTRUCTION 4. .... 5. .... 6. .... 7. .... 8. ....	<b>C-602</b>
DRAWN BY SHL	CHECKED BY LND	DATE RCS	

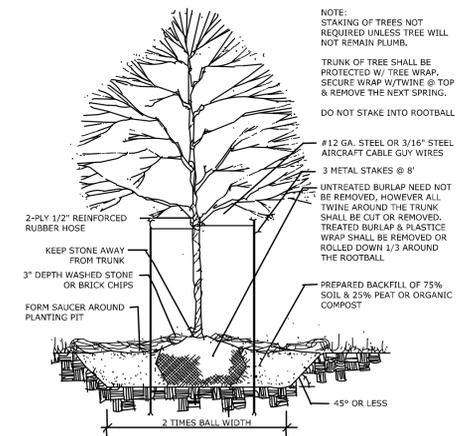


### ZONING DATA

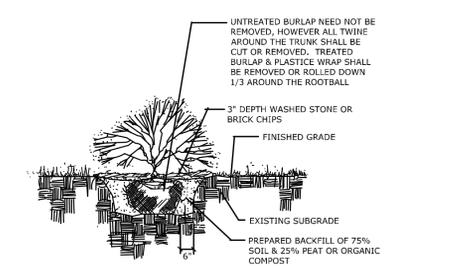
CATEGORY	AREA/QUANTITY	REQUIREMENT	PROVISION
PARKING - CANOPY TREES	PARKING SPACES: 18 (INCLUDES TWO SPACES FOR VACUUMS)	1 CANOPY TREE (1 TREE PER 7-18 SPACES)	1 CANOPY TREE (PLANTED IN ISLAND OR W/IN 10' OF PARKING AREA)
PARKING - SCREENING FOR ADJOINING/ADJACENT RESIDENTIAL ZONING	PARKING SPACES: 18 NO ADJOINING/ADJACENT RESIDENTIAL ZONING	N/A - NO ADJOINING/ADJACENT RESIDENTIAL ZONING	N/A - NO ADJOINING/ADJACENT RESIDENTIAL ZONING
PARKING - SCREENING GENERAL MINIMUMS	PARKING SPACES: 18	270 POINTS (15 POINTS PER PARKING SPACE)	310 POINTS 100 - 2 CANOPY TREES 54 - 6 TALL SHRUBS 54 - 9 MED SHRUBS 102 - 34 LOW SHRUBS
STREET FRONTAGE LANDSCAPE/CANOPY TREES	STH 18 / USH 151: 228' LILLEHAMMER: 269.5'	10' WIDTH AREA AND 5 CANOPY TREES 10' WIDTH AREA AND 5 CANOPY TREES (MIN. 1 TREE PER 50' OF FRONTAGE)	10' WIDTH AREA AND 5 CANOPY TREES 10' WIDTH AREA AND 5 CANOPY TREES
FOUNDATION LANDSCAPE	N/A	N/A	12 SHRUBS PLANTED AT FRONT FOUNDATION

### PLANT LIST

KEY	QTY	BOTANICAL NAME COMMON NAME	SIZE	MATURITY	REMARKS
AJF	4	Acer x freemanii 'Jeffersred' FREEMAN RED MAPLE	2"	20-40' CANOPY	
CO	3	Celtis occidentalis COMMON HACKBERRY	2"	30-50' CANOPY	
GTS	3	Gleditsia triacanthos 'Skycole' SKYLINE HONEYLOCUST	2"	30-50' CANOPY	
TCG	4	Tilia cordata 'Greenspire' GREENSPIRE LITTLE LEAF LINDEN	2"	30-40' CANOPY	
JCD	17	Juniperus chinensis 'Daubs Frosted' DAUBS FROSTED GOLD JUNIPER	5 GAL	5-6' SPREAD	EVERGREEN, SPREADER
JHH	11	Juniperus horizontalis 'Hughes' HUGHES JUNIPER	5 GAL	6-7' SPREAD	EVERGREEN, SPREADER
PLD	12	Physocarpus opulifolius 'Little Devil' LITTLE DEVIL NINEBARK	18 1/2" GAL	3-4' SPREAD	UPRIGHT
RAG	13	Rhus aromatica 'Gro-La' GRO-LOW SUMAC	18 1/2" GAL	6-7' SPREAD	HARDY, SPREADER
SBG	9	Spiraea bumalda 'Goldflame' COMPACT FROEBEL SPIREA	24 1/2" GAL	2-3' SPREAD	
SFC	9	Spiraea froebelii 'Compacta' COMPACT FROEBEL SPIREA	24 1/2" GAL	3-4' SPREAD	
SPB	6	Syringa patula x 'Bloemerang' DWARF LILAC	24 1/2" GAL	4-5' SPREAD	REBLOOMER
TOT	3	Thuja occidentalis 'Techny' TECHNY MISSION ARBORVITAE	4'	6' SPREAD	EVERGREEN, UPRIGHT

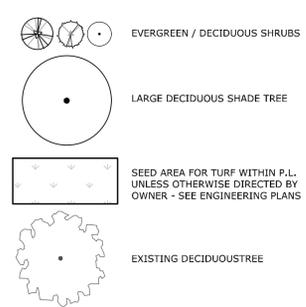


**TREE PLANTING DETAIL**  
NOT TO SCALE



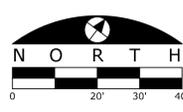
**SHRUB PLANTING DETAIL**  
NOT TO SCALE

### LEGEND



### PLANTING NOTES

- Contractor shall verify location of all underground utilities prior to digging. For regional locating call "Digger's Hotline" 1-800-242-8511. Any damage or interruption of services shall be the responsibility of the contractor. Contractor to coordinate all related activities with other trades on the job and shall report any unacceptable job conditions to owner's representative prior to commencing work.
- For details pertaining to Utilities, Easements, Grading, Retaining Walls, Layout, Geometry, Wetland/Flood Plain Delineations, etc. refer to Architectural and Civil Engineering plans.
- Contractor shall make a site visit prior to bidding to determine the current site conditions. Contractor shall report any discrepancies in the field to the Landscape Architect and/or Owner.
- Contractor is responsible for application and cost of all necessary building permits and code verifications. Submit copies of all documents to owner and landscape architect.
- Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.
- Quantity lists are supplied as a convenience; however, the contractor should verify all quantities. The drawings shall take precedence over the lists.
- Plantings may need to be adjusted in the field to accommodate utilities, easements, drainage ways, downspouts, etc.; however, quantities and sizes shall remain consistent with these plans.
- Size & grading standards of plant material shall conform to the latest addition of ANSI Z60.1 AMERICAN STANDARD OF NURSERY STOCK, by the American Nursery & Landscape Association.
- Plant material shall be nursery grown and be either balled and burlapped or container grown. Sizes and/or spread on plant list represent minimum requirements at the time of installation; mature growth may exceed figures listed.
- All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Landscape Architect and/or Owner.
- Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide for visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.
- Any materials with damaged or crooked/disfigured leaders, bark abrasion, sun scald, insect damage, etc. are not acceptable and will be rejected by Landscape Architect, Owner and/or general contractor/project manager. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump.
- All plant material shall be guaranteed for one (1) year from the date of acceptance.
- All planting beds and tree saucers shall be finished with minimum 3" depth, 1"-3" size washed aggregate stone or brick chips, with weed barrier fabric, see planting details. All deciduous trees (shade / ornamental) shall be edged and finished with a 3'-0" diameter circle of stone and fabric. Evergreen trees shall be edged and finished with stone and fabric to outer-most branches at the time of installation.
- All plant bed edges and tree saucers shall require installation of 4" interlocking steel edging with steel stakes between lawn and stone planting areas as indicated on plan.
- Sod shall be Kentucky Bluegrass Blend w/ Rye, no peat sod will be allowed. Contractor shall be responsible for three (3) mowings, minimum of one fertilizer application with 15-40-5 analysis and watering until sod is established.
- All areas disturbed by construction shall be at a minimum seeded and covered with erosion control blanket (Right of Way, etc.).
- Contractor is responsible for supplying the appropriate amount of approved topsoil to bring site conditions to a seed, sod and plant-able condition.
- Existing plants (trees, shrubs, native vegetation, etc.) as shown on plan are to remain and must be protected from construction activity during construction timeline.



**ARC DESIGN**  
RESOURCES INC.

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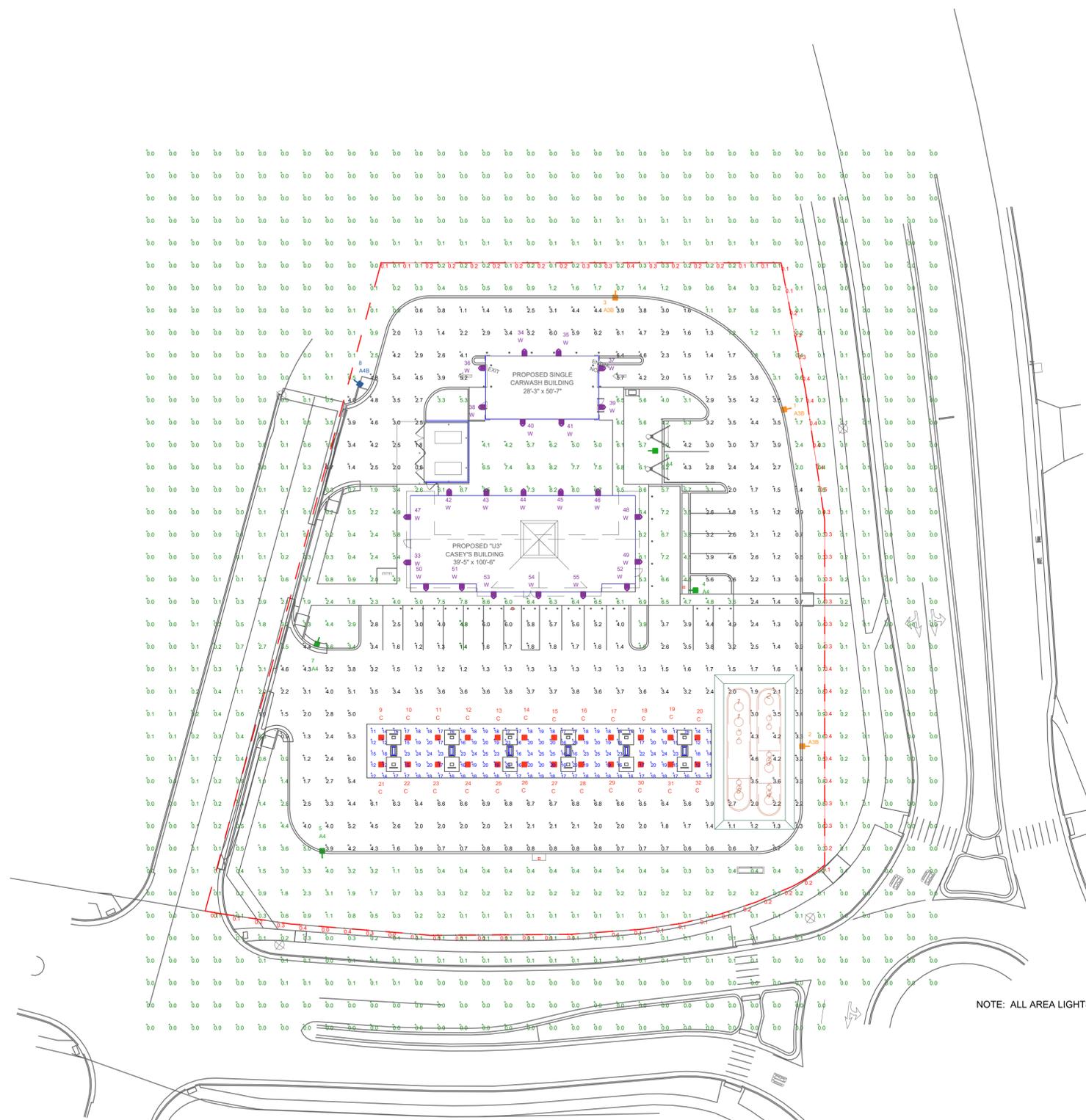
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**CASEY'S GENERAL STORE - MOUNT HOREB, WI 19136**

PROJECT LOCATION & OWNER	REVISION	DATE	FOR CONSTRUCTION
NE CORNER OF US-14 & BADGER PARKWAY, DARIEN, WI 53114 CASEY'S MARKETING COMPANY ONE CONVENIENCE BLVD ANKENY, IA 50021 RYAN STEVENS (515) 466-0709	1. CLIENT REVIEW	03/20/2020	----
	2. CLIENT REVIEW	05/01/2020	----
	3. AGENCY REVIEW	05/06/2020	1. ----
	4. ----	----	2. ----
	5. ----	----	3. ----
	6. ----	----	4. ----
	7. ----	----	5. ----
	8. ----	----	6. ----

DRAWN BY: SHL    CHECKED BY: LND    PLO: RCS

**LANDSCAPING PLAN**  
C-701



**LUMINAIRE LOCATION SUMMARY**

LUM NO.	LABEL	MTG. HT.
1	A3B	17
2	A3B	17
3	A3B	17
4	A4	17
5	A4	17
6	A4	17
7	A4	17
8	A4B	17
9	C	16.5
10	C	16.5
11	C	16.5
12	C	16.5
13	C	16.5
14	C	16.5
15	C	16.5
16	C	16.5
17	C	16.5
18	C	16.5
19	C	16.5
20	C	16.5
21	C	16.5
22	C	16.5
23	C	16.5
24	C	16.5
25	C	16.5
26	C	16.5
27	C	16.5
28	C	16.5
29	C	16.5
30	C	16.5
31	C	16.5
32	C	16.5
33	W	10
34	W	12
35	W	12
36	W	12
37	W	12
38	W	12
39	W	12
40	W	12
41	W	12
42	W	10
43	W	10
44	W	10
45	W	10
46	W	10
47	W	10
48	W	10
49	W	10
50	W	10
51	W	10
52	W	10
53	W	10
54	W	10
55	W	10

ILLUMINATION LEVELS ARE THE RESULT OF REQUESTS BY OTHERS  
RED LEONARD ASSOCIATES IS NOT RESPONSIBLE  
FOR INCIDENTS CAUSED BY INSUFFICIENT LIGHTING  
AND DOES NOT RECOMMEND THESE LEVELS FOR  
SECURITY AND SAFETY REASONS

NOTE: ALL AREA LIGHTS ON NEW 15 FT. POLES MOUNTED ON 2 FT. CONCRETE BASES

**FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES**

LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PAVED AREA	2.93	6.9	0.6	4.88	11.50
PROPERTY LINE	0.23	0.5	0.0	N.A.	N.A.
UNDEFINED AREA	0.68	8.7	0.0	N.A.	N.A.
UNDER CANOPY	18.02	25	11	1.64	2.27

SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	CATALOG LOGIC
	3	A3B	SINGLE	7537	1.040	B1-U0-G2	101	303	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-BZ-525-57K
	4	A4	SINGLE	11259	1.040	B2-U0-G2	134	536	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-BZ-700-57K
	1	A4B	SINGLE	9549	1.040	B1-U0-G2	134	134	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-BZ-700-57K
	24	C	SINGLE	5249	1.040	B2-U0-G1	46	1104	BETALED, A DIVISION	CAN-304-SL-RS-04-E-UL-WH-350-57K
	23	W	SINGLE	2947	1.040	B1-U0-G1	36	828	CREE, INC.	SEC-EDG-3M-WM-02-E-UL-BZ-525-57K

REV.	BY	DATE	DESCRIPTION
R1	JSG	5/6/20	REVISE PER UPDATED SITE PLAN. REDUCE LIGHT LEVELS TO MEET REMT'S. OF MUNICIPALITY

PERSONS USING THIS PROGRAM ARE ADVISED THAT THIS PROGRAM MAY CONTAIN ERRORS WHICH RED LEONARD ASSOCIATES, INC. OR ITS SOFTWARE PROVIDER HAVE NOT OBSERVED. IN ADDITION, THE USE OF THIS PROGRAM TO ADJUST QUANTITIES IS NOT INTENDED TO REMOVE THE RESPONSIBILITY OF THE USER TO VERIFY THE COMPLETENESS OF ANY BILL OF MATERIALS AND THAT THE LAYOUT OR USE OF LUMINAIRES IS IN FULL COMPLIANCE WITH ALL LOCAL, STATE OR FEDERAL STATUTES, REGULATIONS OR ORDINANCES, OR THE REQUIREMENTS OF ANY INSURANCE GROUP, ORGANIZATION OR CARRIER REGARDING LUMINAIRES AND THEIR APPLICATION.

FOR INFORMATIONAL AND ILLUSTRATION PURPOSES ONLY. ALL PRODUCT, SERVICE AND CORPORATE NAMES ARE THE PROPERTY OF THEIR RESPECTIVE OWNERS. PRODUCT SPECIFICATIONS AND QUANTITIES MAY VARY. THESE DOCUMENTS ARE THE PROPERTY OF RED LEONARD ASSOCIATES, INC. ANY USE OF THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF JARVIS J. LEONARD OF RED LEONARD ASSOCIATES, INC. IS STRICTLY PROHIBITED.

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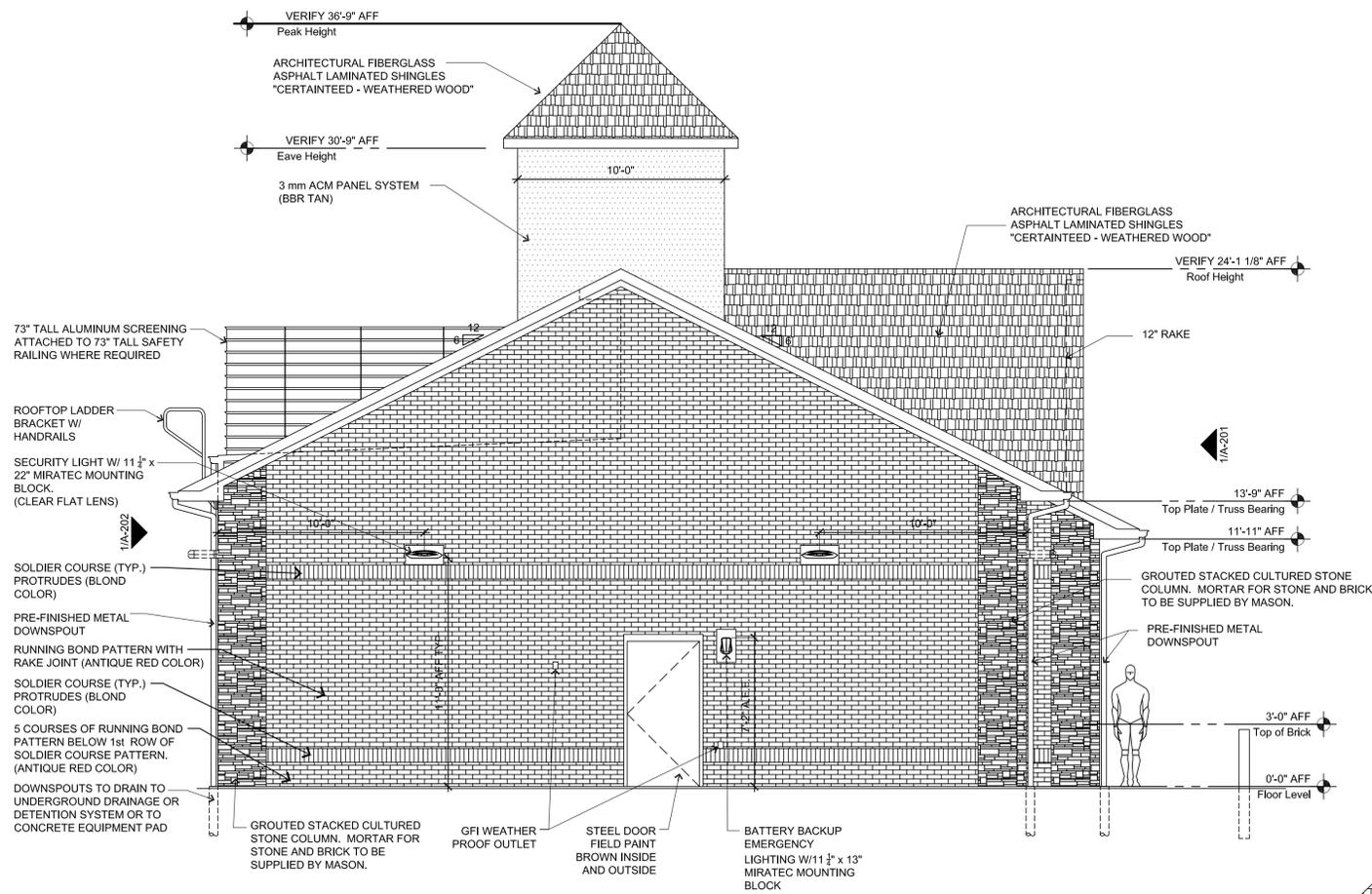
SCALE:  
1" = 30'  
LAYOUT BY:  
EJMJ  
DWG SIZE:  
D  
DATE:  
3/16/20

PROJECT NAME:  
**CASEY'S  
MOUNT HOREB, WI**  
DRAWING NUMBER:  
**RL-6648-S1-R1**



## General Notes

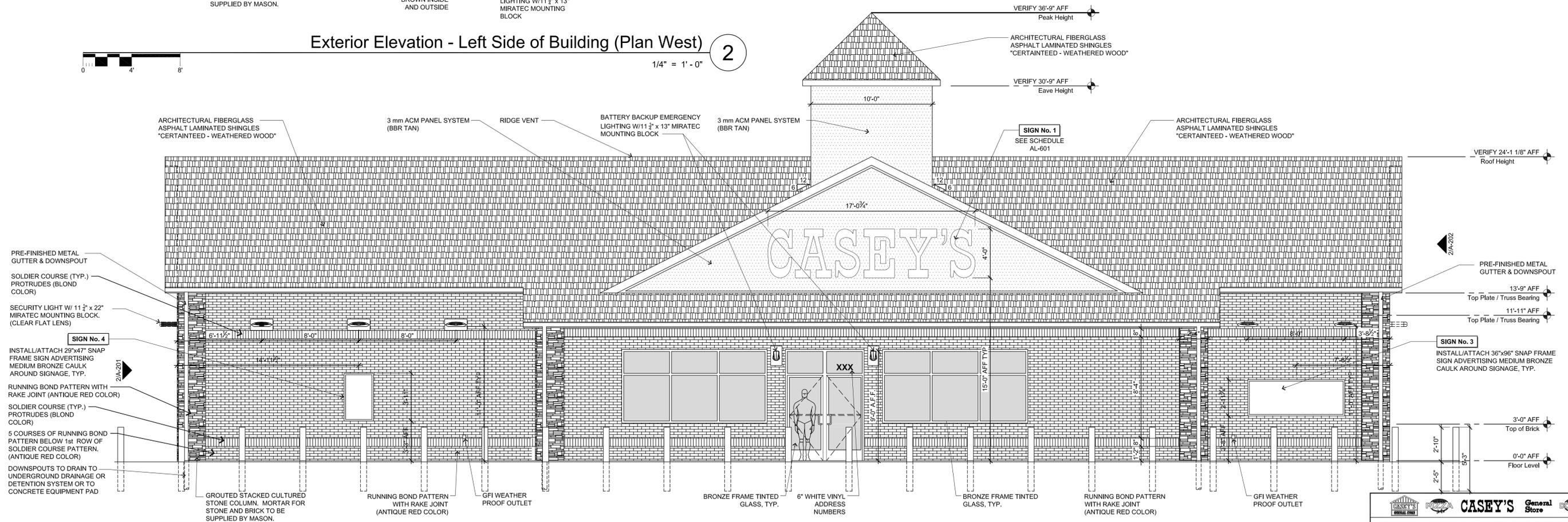
1. REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
2. **RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:  
 AL-101: FOR BUILDING LOCATION ON SITE  
 AL-601: FOR INFORMATION RELATING TO SIGNAGE  
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT  
 A-601: DOOR & WINDOW SCHEDULES AND NOTES  
 S-101: FOOTINGS AND FOUNDATIONS  
 S-102: ROOF TRUSSES
3. **WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
4. **NOT USED**
5. ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



Exterior Elevation - Left Side of Building (Plan West)

1/4" = 1' - 0"

2



Exterior Elevation - Front of Building (Plan South)

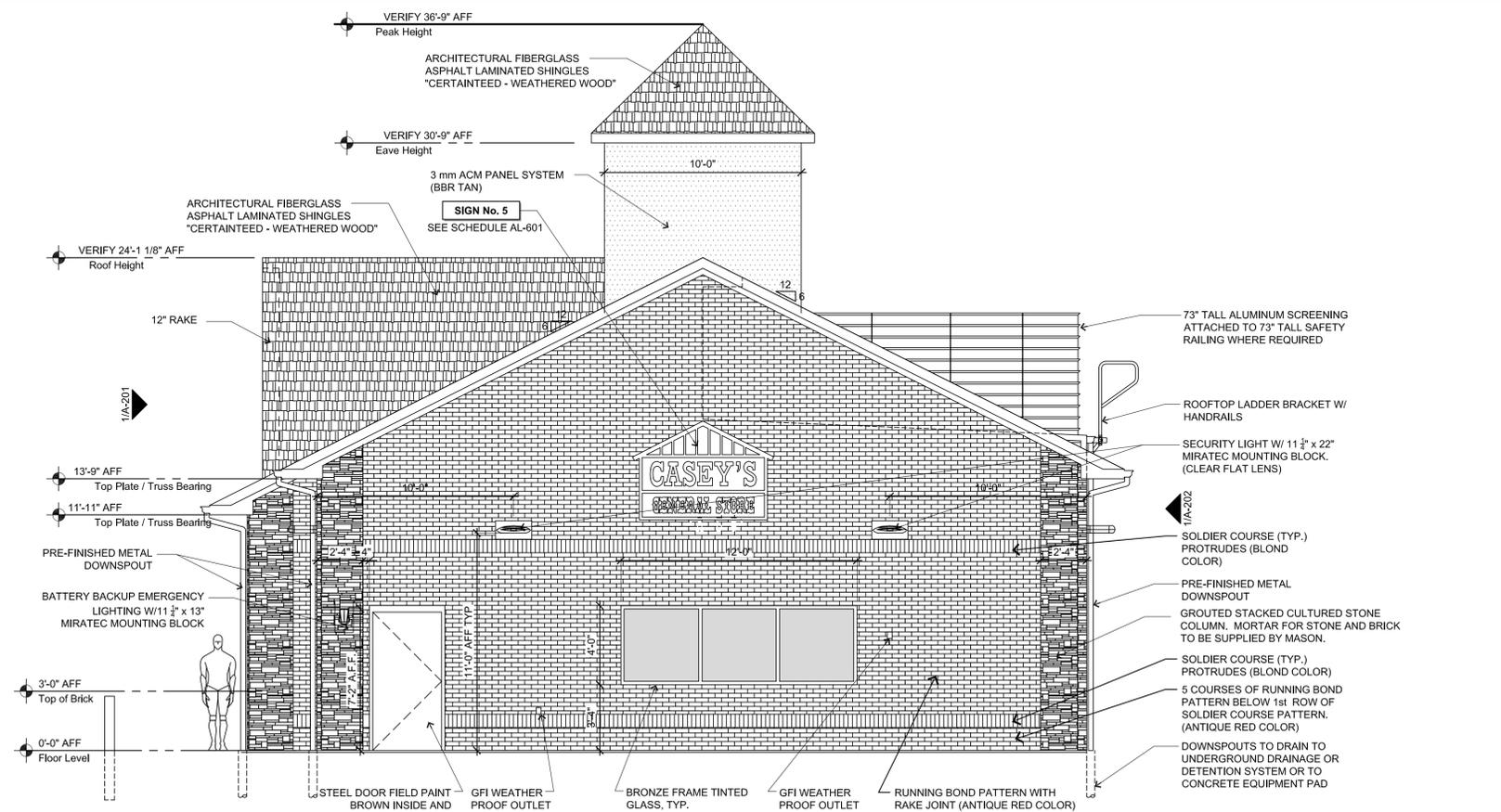
1/4" = 1' - 0"

1

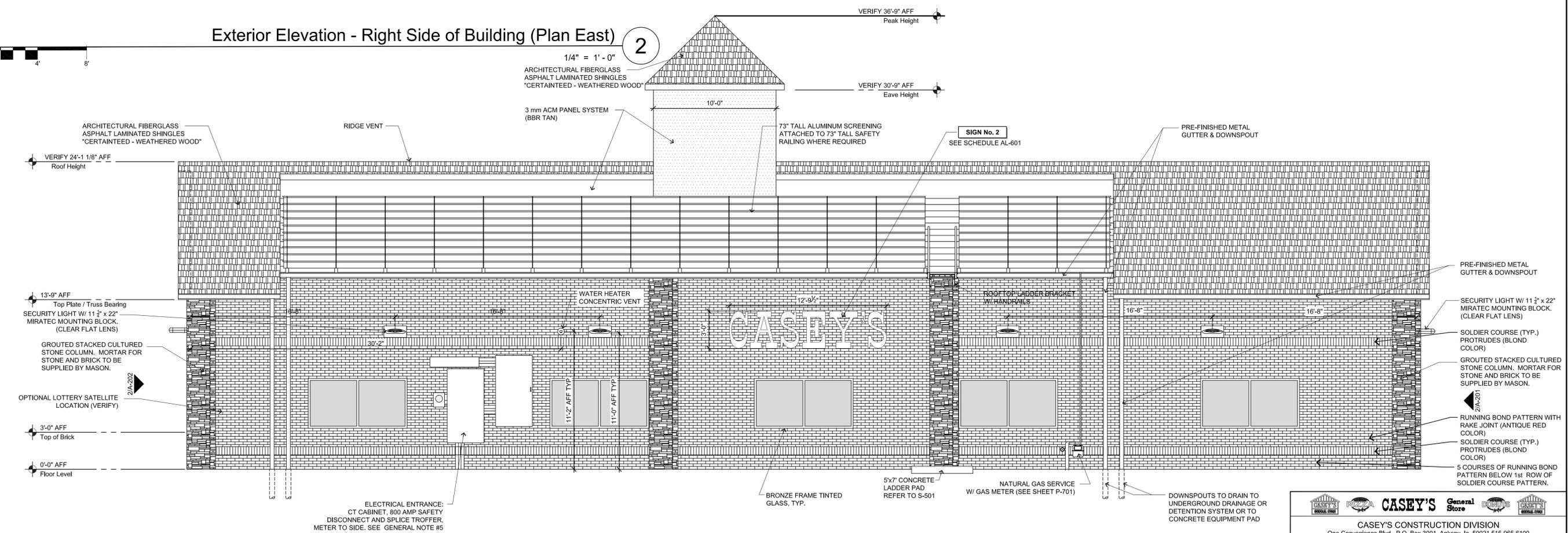
<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100			
PROJECT: <b>MOUNT HOREB, WI #38--</b>	PUBLISHED: <b>01/09/20</b>	DRAWING INFORMATION: <b>03/09/20</b>	<b>EXTERIOR ELEVATIONS</b>
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: <b>BRYAN RAHN</b>	CHECKED BY:	<b>A-201</b>	

## General Notes

- REVIEW AND COORDINATE WITH ALL DETAIL PAGES REFERENCED ON THIS PLAN. NOTIFY ARCHITECT AND OWNER OF DISCREPANCIES
- RELATED DRAWING SHEETS:** REFER TO THE FOLLOWING:  
 AL-101: FOR BUILDING LOCATION ON SITE  
 AL-601: FOR INFORMATION RELATING TO SIGNAGE  
 A-101: PRIMARY FLOOR PLAN FOR CONSTRUCTION LAYOUT  
 A-121: ROOF PLAN/ROOF TOP EQUIPMENT  
 A-601: DOOR & WINDOW SCHEDULES AND NOTES  
 S-101: FOOTINGS AND FOUNDATIONS  
 S-102: ROOF TRUSSES
- WORKING POINT:** THE WORKING POINT (WP) INDICATED ON THE DRAWINGS IS RELATIVE TO THE FACE OF SHEATHING ON THE EXTERIOR WALL AND IS A COMMON POINT OF REFERENCE WHERE EVER USED IN THESE DRAWINGS
- NOT USED**
- ELECTRICIAN TO INFORM GENERAL CONTRACTOR ON SIZE AND LOCATION OF CT CABINET(S) REQUIRED BY LOCAL POWER COMPANY. IF CABINET(S) CANNOT BE MOUNTED COMPLETELY ABOVE THE BRICK, STEPS MUST BE TAKEN TO ACCOUNT FOR THE LOCATION OF THE CABINET(S) TO BE RECESSED IN THE BRICK IF IT HAS NOT BEEN INSTALLED AT THE TIME THE BRICK IS BEING LAID.
- ALL VENT PENETRATIONS ON BACK OF BACKSIDE OF ROOF.



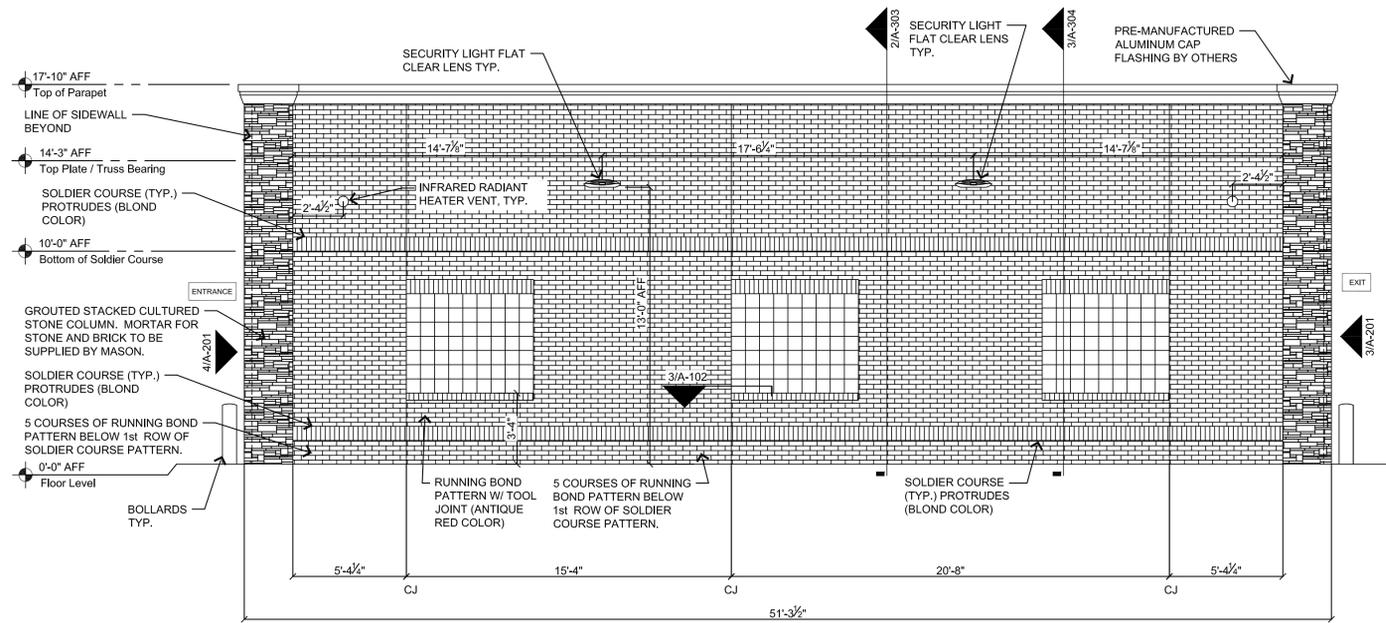
Exterior Elevation - Right Side of Building (Plan East)



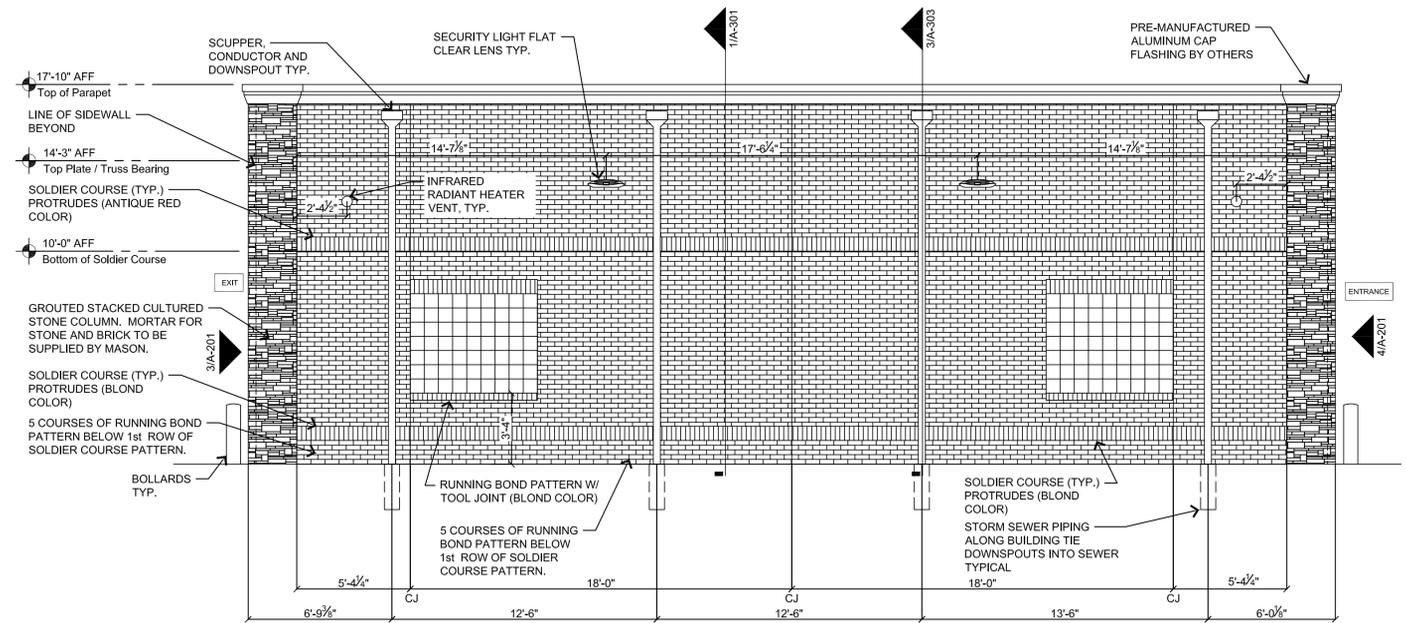
Exterior Elevation - Back of Building (Plan North)



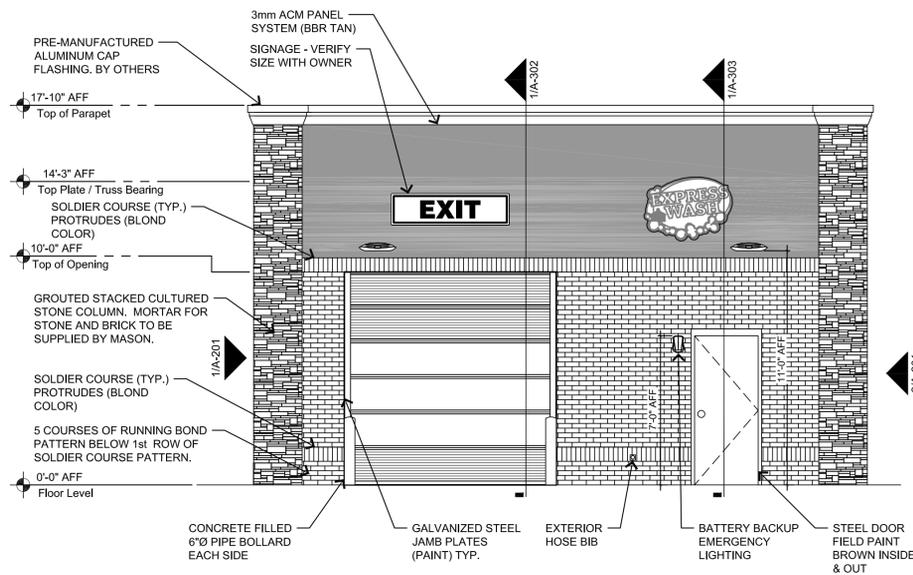
<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100	
PROJECT: <b>MOUNT HOREB, WI #38--</b>	DRAWING INFORMATION: PUBLISHED: 01/09/20 REVISION: 03/09/20
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: BRYAN RAHN	EXTERIOR ELEVATIONS <b>A-202</b>



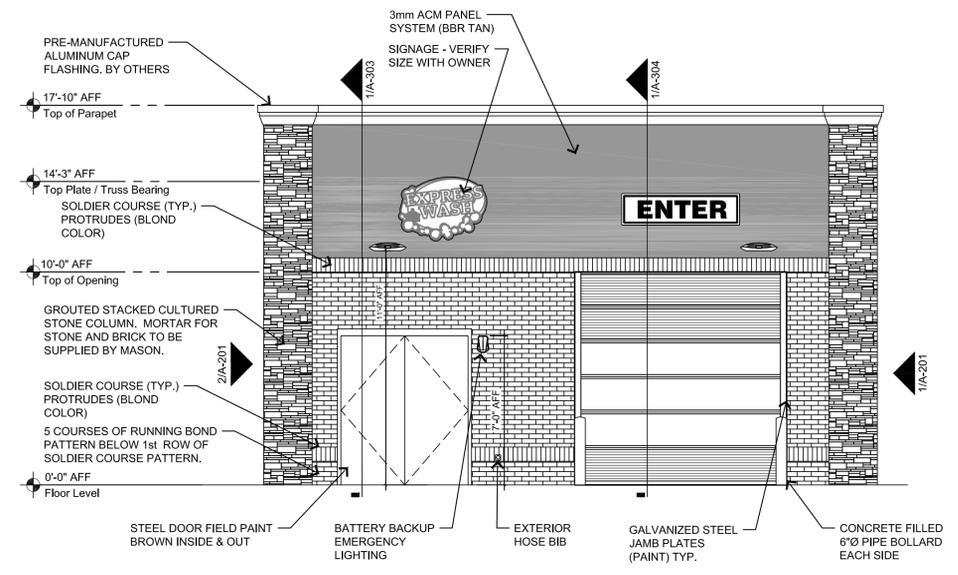
1 Right Side (Facing Front of Building)  
1/4" = 1'



2 Left Side Elevation (Facing Front of Building)  
1/4" = 1'



3 Rear Elevation (Exit)  
1/4" = 1'



4 Front Elevation (Entrance)  
1/4" = 1'

<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100	
PROJECT: MT. HOREB, WI #38--	DRAWING INFORMATION: PUBLISHED: _____ REVISIONS: _____ EXTERIOR ELEVATIONS
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: KLN	<b>A-201</b>









FRONT ELEVATION



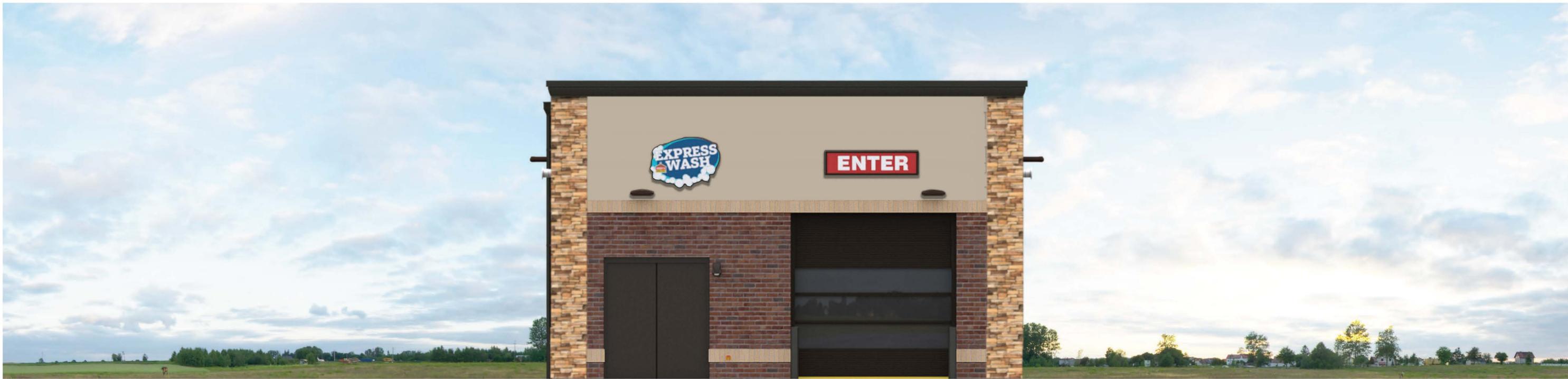
RIGHT ELEVATION



BACK ELEVATION



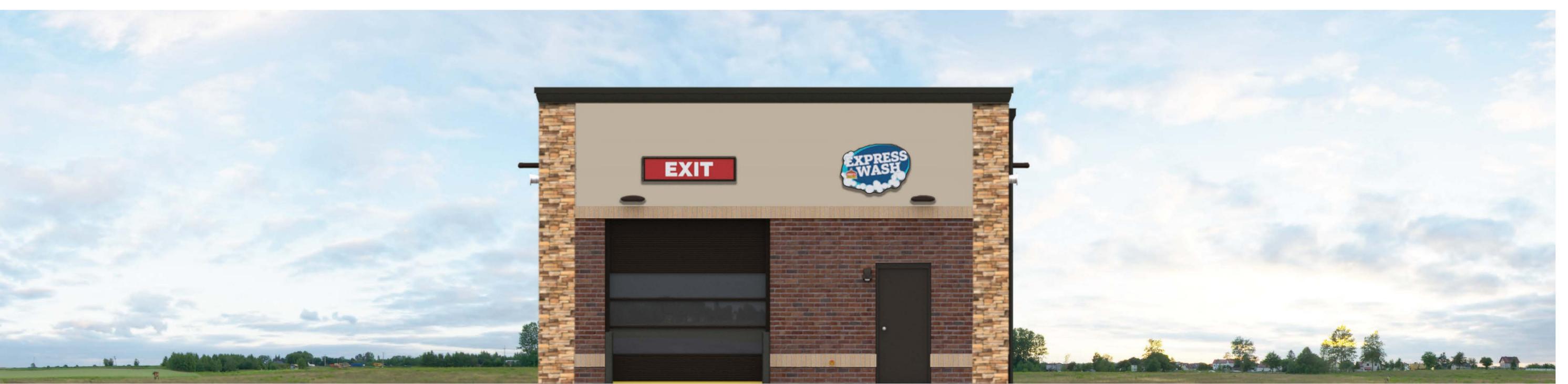
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



BACK ELEVATION



LEFT ELEVATION

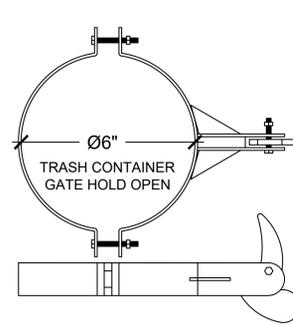
# General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE THE FOLLOWING SHEETS:

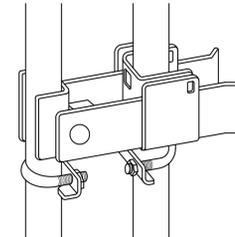
G-001 FOR GENERAL PROJECT NOTES  
AL101 FOR GENERAL SITE PLAN

# Construction Notes

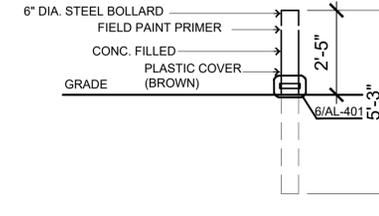
- 1) ALL DOMES ON FENCE POSTS ARE TO BE FASTENED SO THAT THEY CAN NOT BE REMOVED.
- 2) VERIFY SCREENING WITH LOCAL AUTHORITY.
- 3) CONTRACTOR TO PRIME ALL 6" BOLLARDS PRIOR TO FINISHED PAINT COAT.
- 4) DUMPSTER ENCLOSURE WALLS WILL BE 4" BLOCK PURCHASED BY CONTRACTOR



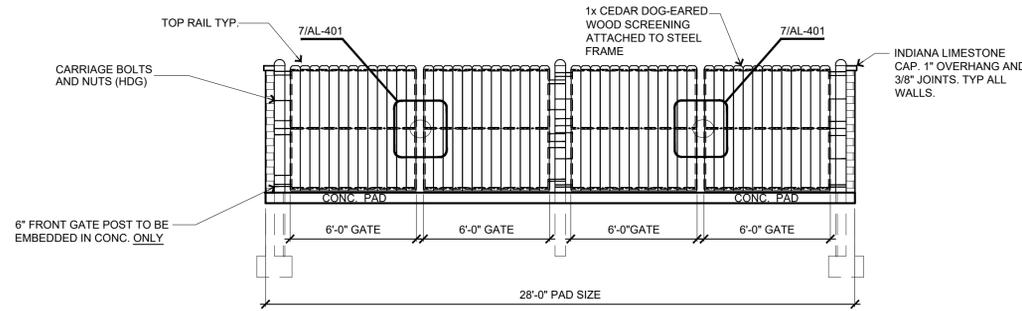
6 Gate Open Holder  
No Scale



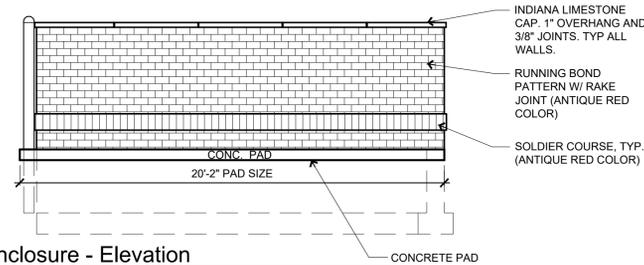
7 Commercial Double Gate Latch Detail  
No Scale



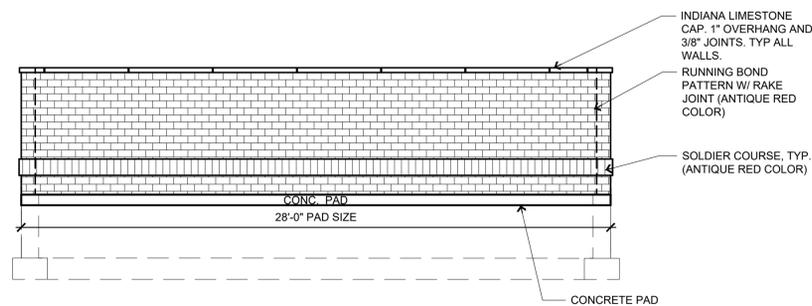
8 Bollard Detail  
No Scale



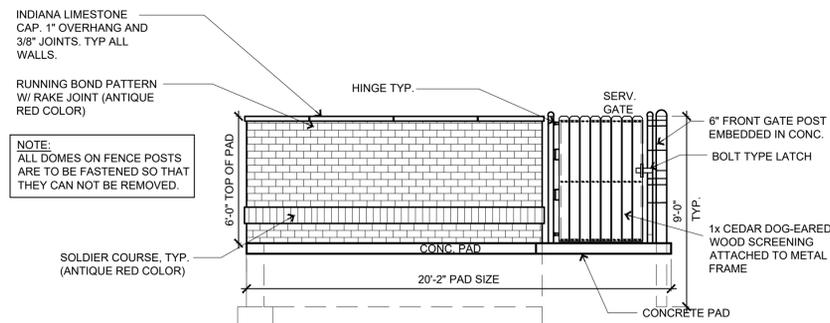
5 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



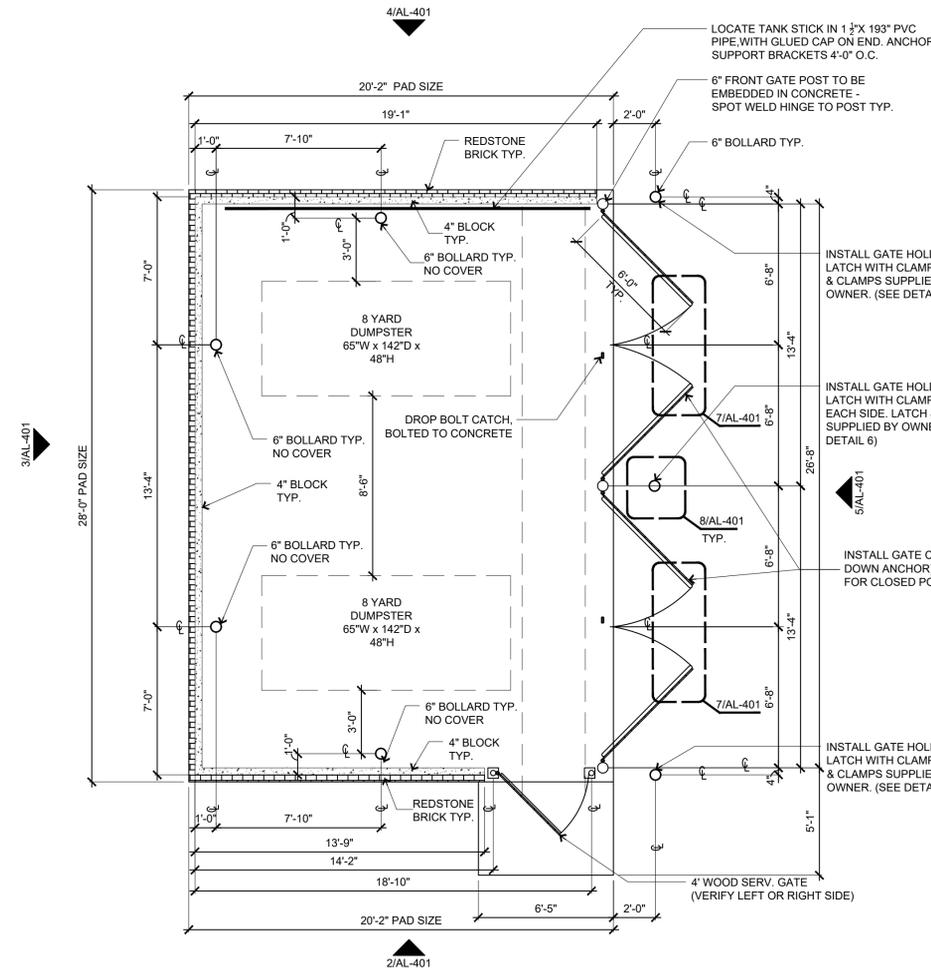
4 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



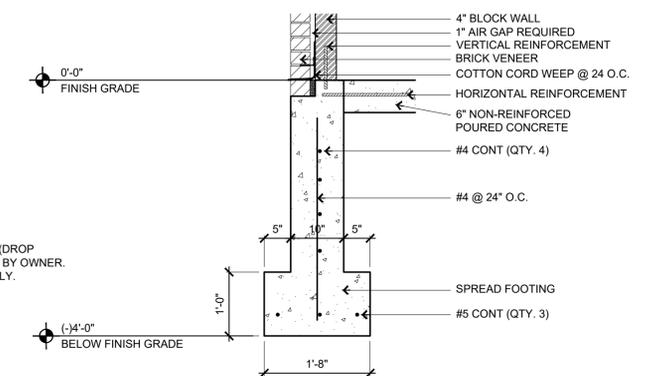
3 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



2 Dumpster Enclosure - Elevation  
1/4" = 1'-0"



1 Dumpster Plan  
1/4" = 1'-0"



9 Spread Footing Detail  
No Scale

## Brick Enclosure w/Wood Gates

CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., P.O. Box 3001, Ankeny, Ia. 50021 515-965-6100		
PROJECT: 2020 Standard Site Details	PUBLISHED: 01/14/20 REVISIONS: 03/20/20	DRAWING INFORMATION: DUMPSTER ENCLOSURE
DRAWING INFORMATION: CONSTRUCTION DIVISION DRAWN BY: B. RAHN	CHECKED BY:	AL-401



# SIGN PACKET

**JACOB CLARK** | SIGNAGE PROJECT BUYER

3305 SE Delaware Ave | Ankeny, IA 50021

P: 515-963-3831 | F: 515-289-5606 | E: jacob.clark@caseys.com

## Mt. Horeb, WI

### U3 Store

- Custom Building Signage
- 29" Canopy Signage
- 4 Product Brick Monument @ 10' OAH
- 3' Carwash Signage

04-29-20

Building & Wall Signs									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft <sup>2</sup>
1	"CASEY'S"	Surface	Building Front	Internal	See A-201/2	See A-201/2	17' 0-3/4"	4' 0"	28.25
2	"CASEY'S"	Surface	Building Rear	Internal	See A-201/2	See A-201/2	12' 9-9/16"	3' 0"	15.89
3	Snap Frame	Advertising	Building Front	N/A	3' 4"	6' 8-1/2"	8' 0"	3' 0"	24
4	Snap Frame	Advertising	Building Front	N/A	2' 10"	6' 10-1/2"	2' 4"	3' 8"	8.56
5	House Logo	Surface	Building Side	Internal	See A-201/2	See A-201/2	7' 2-1/16"	5' 0"	26.74
								<b>Total</b>	<b>103.44</b>

Canopy (Small Logos)									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft <sup>2</sup>
6	House Logo	Surface	Canopy Side	Internal	17' 3"	19' 8"	3' 5-5/8"	2' 5"	6.39
6	House Logo	Surface	Canopy Side	Internal	17' 3"	19' 8"	3' 5-5/8"	2' 5"	6.39
6	House Logo	Surface	Canopy Front	Internal	17' 3"	19' 8"	3' 5-5/8"	2' 5"	6.39
								<b>Total</b>	<b>19.17</b>

Brick Monument Sign (4 Product Monument at 10' OAH)									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft <sup>2</sup>
7	Price Sign	Freestanding	Street	Internal	4' 8"	9' 3"	10' 2"	4' 7"	46.6
								<b>Total</b>	<b>46.6</b>

Carwash (Single Bay)									
Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft <sup>2</sup>
8	"ENTER"	Surface	Building Front	Internal	See A-201	See A-201	5' 6"	1' 5"	7.79
8	"EXIT"	Surface	Building Rear	Internal	See A-201	See A-201	5' 6"	1' 5"	7.79
9	Express Wash	Surface	Building Front	Internal	See A-201	See A-201	4' 1-15/16"	3' 0"	9.55
								<b>Total</b>	<b>25.13</b>

**SIGNS 1, 2, 3, 4**



**SOUTH**



**NORTH**

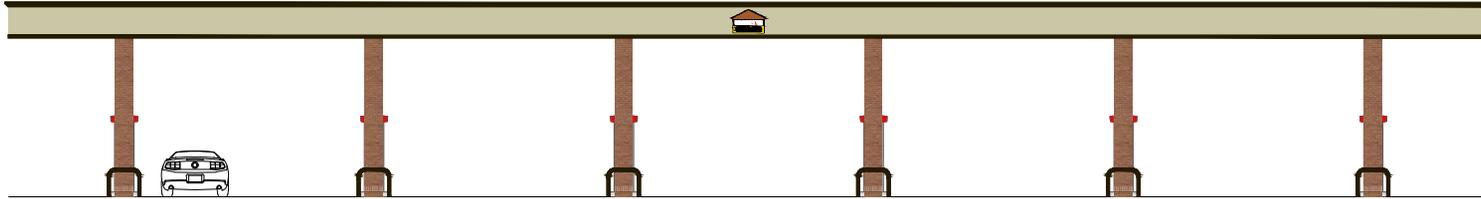


**EAST**



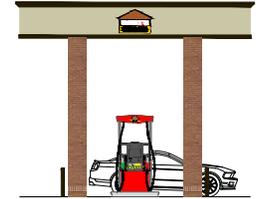
**WEST**

6



SOUTH ELEVATION

6

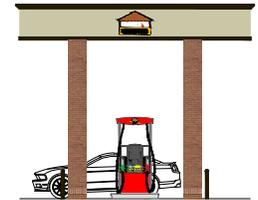


EAST ELEVATION

6



NORTH ELEVATION



WEST ELEVATION



MT. HOREB, WI  
CANOPY OPTION

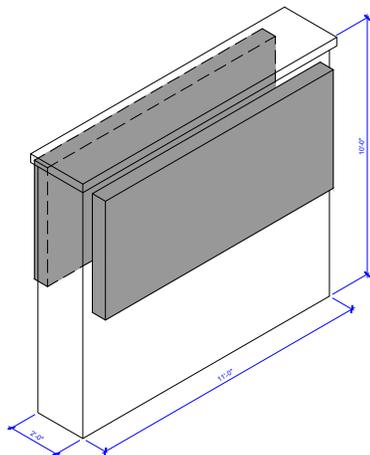
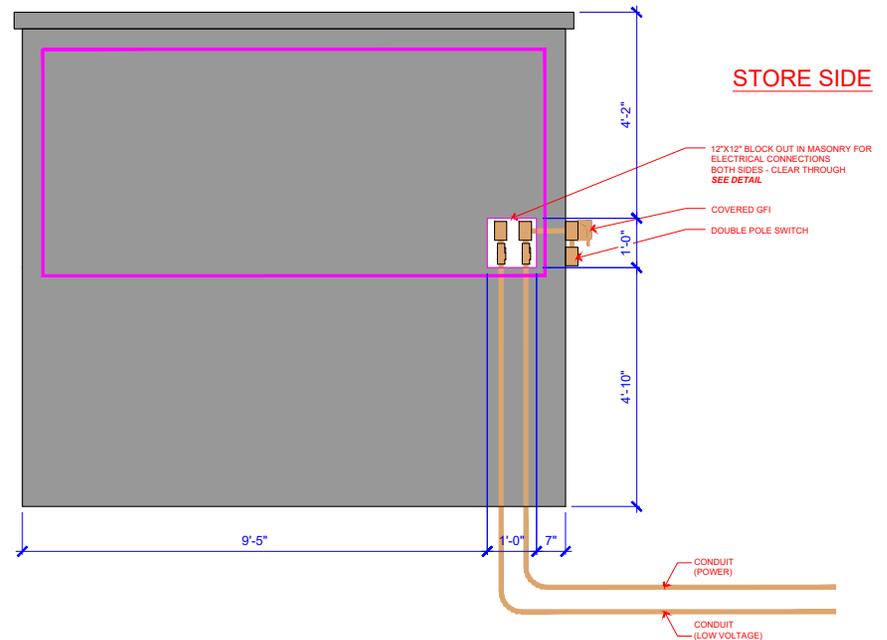
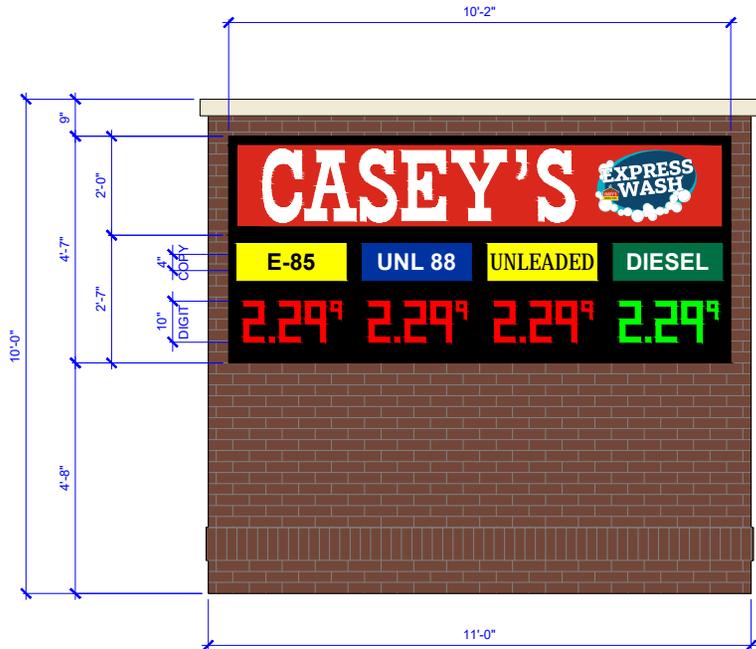
DRAWN BY:  
J. CLARK

DATE:  
04-29-20

# SIGN 7

## Brick Monument Sign (4 Product Monument at 10' OAH)

Sign #	Sign	Type	Location	Illumination	Dimensions				
					Bottom	Top	Width	Height	Area Ft <sup>2</sup>
6	Price Sign	Freestanding	Street	Internal	4' 8"	9' 3"	10' 2"	4' 7"	46.6
								<b>Total</b>	<b>46.6</b>



### PRICER NOTES:

- 10" RED AND GREEN LED DIGITS
- STATIC LABELS, NON-INTERCHANGEABLE
- DIESEL ON THE RIGHT, BOTH SIDES

### OTHER NOTES

- CABINET IS BLACK IN COLOR
- 300' WIRELESS KEYPAD RANGE



## BRICK MONUMENT SIGN 4 PRODUCT - 10' OAH

DRAWN BY:  
J. CLARK

DATE:  
12-16-19

9

8



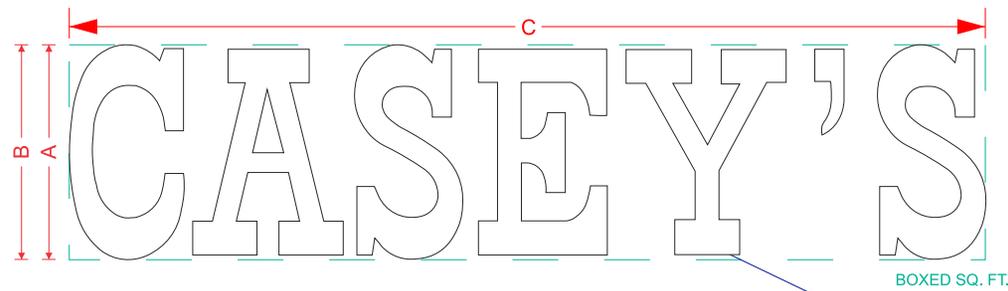
**EAST ELEVATION**

8

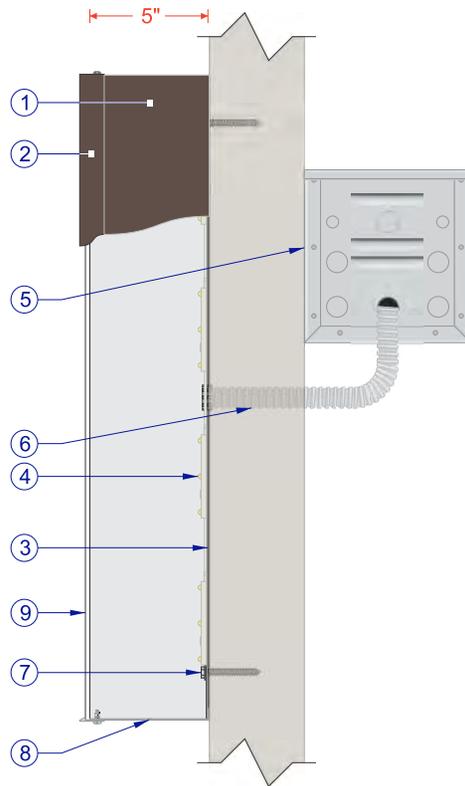


**WEST ELEVATION**

# SIGN 1



GRAPHIC DETAIL  
NOT TO SCALE



LETTER PROFILE  
NOT TO SCALE

CASEY'S REMOTE CHANNEL LETTER SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" x 5" PREFINISHED BRONZE ALUMINUM RETURNS
2	1" BRONZE TRIM CAP
3	.063" ALUMINUM BACK
4	WHITE LED'S AS REQUIRED
5	REMOTE POWER SUPPLIES AS REQUIRED
6	ELECTRICAL OUT PROVISION: THROUGH BACK, CENTER
7	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
8	DRAIN HOLES AS REQUIRED
9	1/8" 7328 WHITE ACRYLIC FACE

NOTES:

- CHANNEL LETTER INTERIORS TO BE PAINTED REFLECTIVE WHITE
- CHANNEL LETTERS TO USE 120 VOLT STANDARD POWER
- U.L. LISTED

CASEY'S REMOTE CHANNEL LETTERS						
LETTER HEIGHT "C"	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	LUMEN OUTPUT	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C				
48"	4'-0"	17'-0 3/4"	TBD	TBD	68.26	28.25

Customer:  
**CASEY'S GENERAL STORES**

Date:  
**12/16/16**

Prepared By:  
**RM**

*Note:* Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

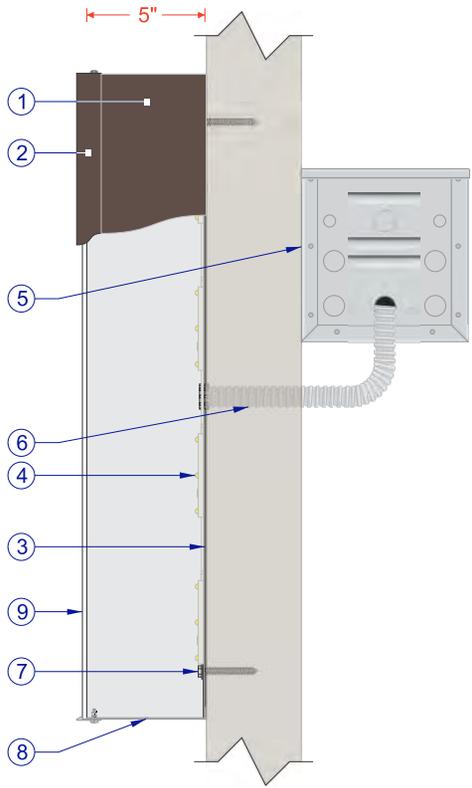
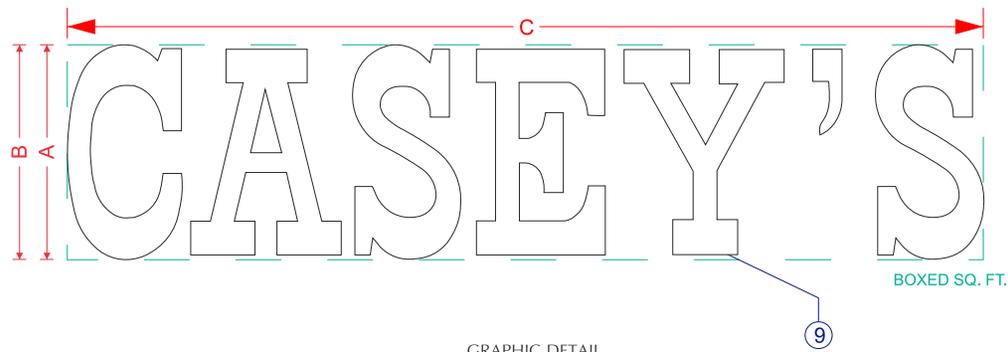
Item Number: TBD

File Name:  
**CASEY'S REMOTE CHANNEL LETTERS**

Revision:  
**3**

**persona**  
SIGNS | LIGHTING | IMAGE

DISTRIBUTED BY SIGN UP COMPANY  
700 21st Street Southwest  
PO Box 210  
Watertown, SD 57201-0210  
1.800.843.9888 • www.personasigns.com



LETTER PROFILE  
NOT TO SCALE

CASEY'S REMOTE CHANNEL LETTER SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" x 5" PREFINISHED BRONZE ALUMINUM RETURNS
2	1" BRONZE TRIM CAP
3	.063" ALUMINUM BACK
4	WHITE LED'S AS REQUIRED
5	REMOTE POWER SUPPLIES AS REQUIRED
6	ELECTRICAL OUT PROVISION: THROUGH BACK, CENTER
7	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
8	DRAIN HOLES AS REQUIRED
9	1/8" 7328 WHITE ACRYLIC FACE

NOTES:

- CHANNEL LETTER INTERIORS TO BE PAINTED REFLECTIVE WHITE
- CHANNEL LETTERS TO USE 120 VOLT STANDARD POWER
- U.L. LISTED

CASEY'S REMOTE CHANNEL LETTERS						
LETTER HEIGHT "C"	OVERALL HEIGHT	OVERALL LENGTH	AMP LOAD	LUMEN OUTPUT	BOXED SQUARE FOOTAGE	ACTUAL SQUARE FOOTAGE
A	B	C				
36"	3'-0"	12'-9 9/16"	TBD	TBD	38.40	15.89

Customer:  
**CASEY'S GENERAL STORES**

Date:  
**12/16/16**

Prepared By:  
**RM**

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

Item Number: TBD

File Name:  
**CASEY'S REMOTE CHANNEL LETTERS**

Revision:  
**3**

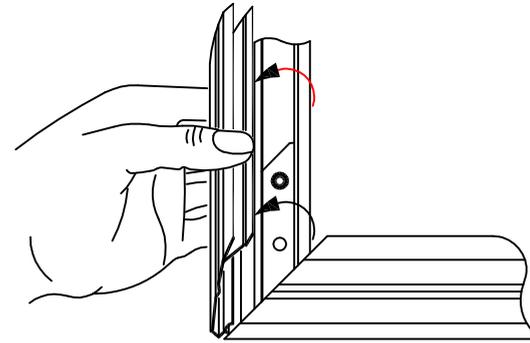
**persona**  
SIGNS | LIGHTING | IMAGE

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# INSTALLATION INSTRUCTIONS

PLEASE READ COMPLETELY BEFORE ASSEMBLY

## SNAPFRAME WALL SIGN



- FIGURE 1 -  
OPENING FRAME MEMBERS

### IMPORTANT NOTE

- \* This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- \* USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

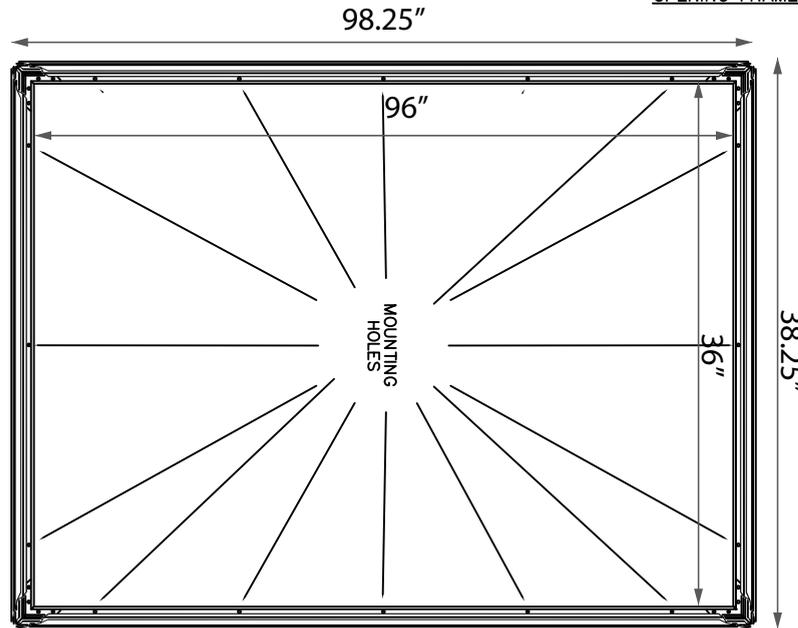
### TOOLS NEEDED

- \* Bubble type level (or string line) for sign positioning.
- \* Pencil for hole location marking.
- \* Drill with 5/16" masonry bit for masonry application only.
- \* 7/32" Metal drill bit for hole in frame
- \* Phillips screwdriver.

### PARTS LIST

- [A] Snap frame with metal backer

BACKER SHEET WITH FRAME  
IN OPEN POSITION



**26.1 SQ FT TOTAL**

### STEP-BY-STEP INSTALLATION PROCEDURE

- ① Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- ② Mark hole locations on the inside of the Extrusion at the locations shown to the left. Holes should be drilled in the location indicated in Figure 2. Use a 7/32" drill bit to drill the holes for a #10 screw.
- ③ Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame. **SIGN MUST BE SECURED TO THE WALL WITH ALL (16) HOLES.**
- ④ Set sign aside and drill or punch starting holes into wall. On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.
- ⑤ Hold sign against wall, align all holes and secure with screws. If you are going into wood or metal, you can still use a No.10 screw. But make sure to use the appropriate one for the material you fasten to.

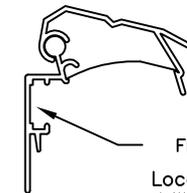
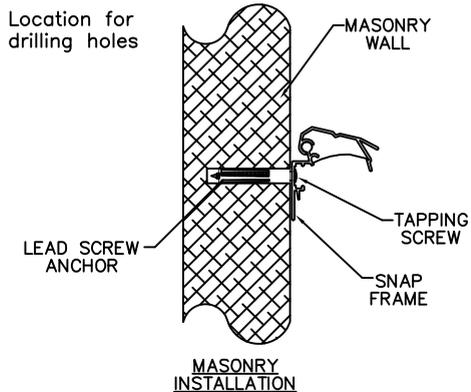


FIGURE 2 -  
Location for drilling holes



**STOUT.**  
| sign company |

A DIVISION OF STOUT INDUSTRIES  
FOR ASSISTANCE CALL: 1-800-325-8530

inside dimensions = (96"x36")  
outside dimensions = (98.25"x38.25")

## INSTALLATION INSTRUCTIONS

PLEASE READ COMPLETELY BEFORE ASSEMBLY

## SNAPFRAME WALL SIGN

### IMPORTANT NOTE

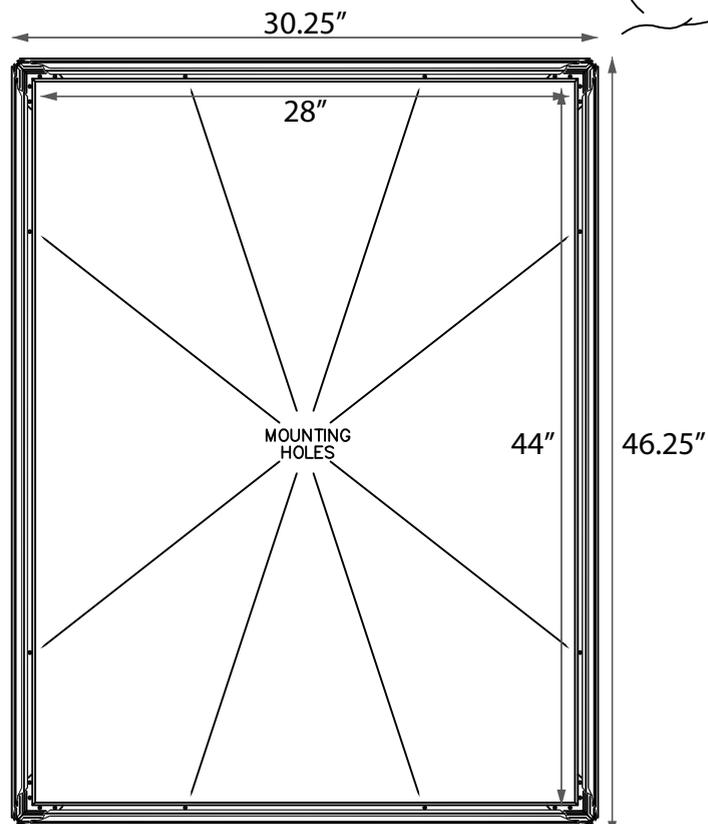
- \* This sign is designed for repeated changing of inserts and must be securely fastened to the wall in order to open and close the spring loaded frame members.
- \* USE CAUTION WHEN CLOSING SNAP FRAME MEMBERS! Hold frame by outer edge and keep finger tips away from poster grip edge.

### TOOLS NEEDED

- \* Bubble type level (or string line) for sign positioning.
- \* Pencil for hole location marking.
- \* Drill with 5/16" masonry bit for masonry application only.
- \* Phillips screwdriver.

### PARTS LIST

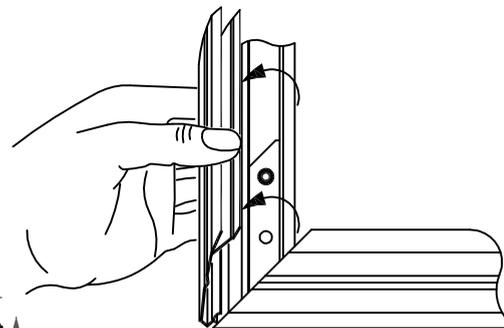
- [A] Sign face with snap frame
- [B] #10 x 1-3/4" tapping screws (8)
- [C] #10-12 x 1" lead anchors (8)



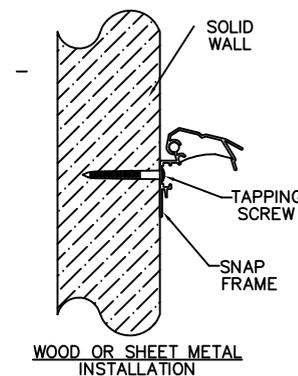
— FIGURE 2 —  
SIGN WITH FRAME  
IN OPEN POSITION

9.72 SQ FT TOTAL

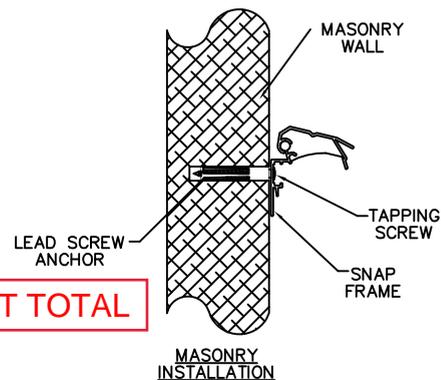
inside dimensions = (28"x44")  
outside dimensions = (30.25"x46.25")



— FIGURE 1 —  
OPENING FRAME MEMBERS



WOOD OR SHEET METAL  
INSTALLATION



MASONRY  
INSTALLATION

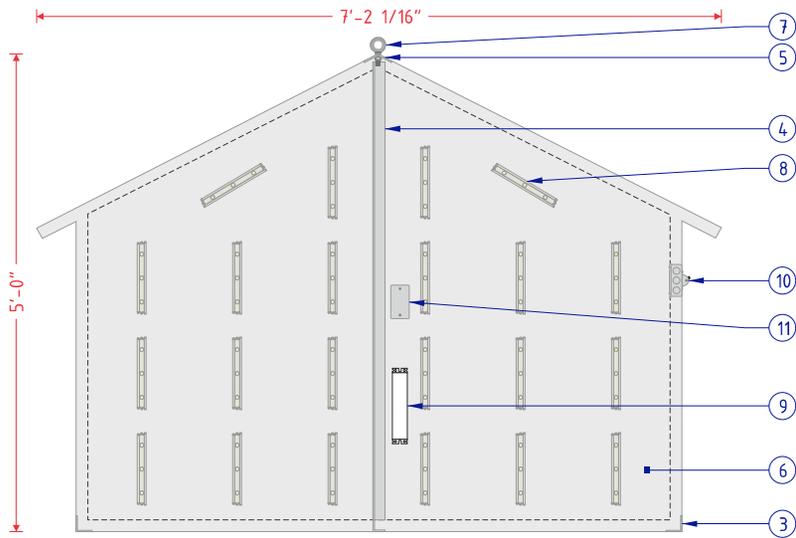
### STEP-BY-STEP INSTALLATION PROCEEDURE

- ① Open all four sides of the snap frame by pulling the inside edge of the frame up and out (see figure 1).
- ② Hold sign against the wall in desired position and mark hole locations on the wall through holes in the frame.
- ③ Set sign aside and drill or punch starting holes into wall: On wood or sheet metal walls, use 1-3/4" tapping screws only.  
  
On masonry walls, drill 5/16" holes into mortar (where possible) approx. 2" deep and insert lead expansion anchor until end is flush with the wall.
- ④ Hold sign against wall, align all holes and secure with screws.

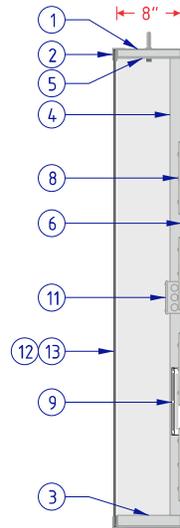
**STOUT.**  
| sign company |

A • DIVISION • OF • STOUT • INDUSTRIES  
FOR ASSISTANCE CALL: 1-800-325-8530

STDI-029  
2/28/06



FRAME & LAMP DETAIL  
SCALE: 1/2" = 1'-0"

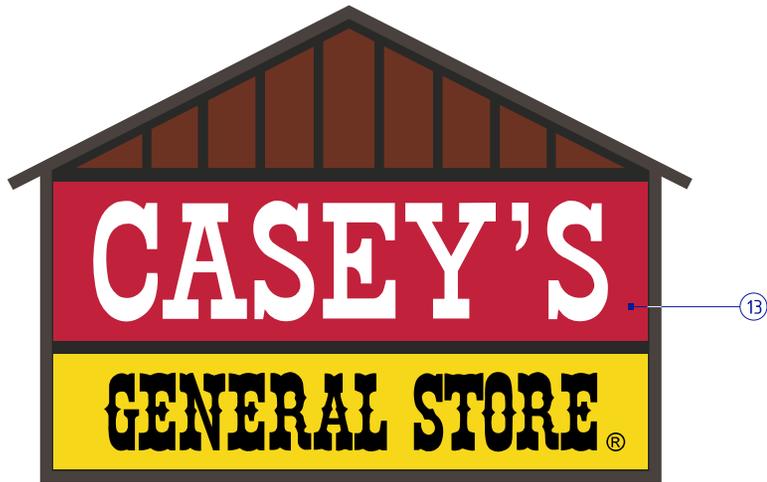


CROSS SECTION A-A  
SCALE: 1/2" = 1'-0"

CASEY'S 5 X 7 SINGLE FACE LED SIGN SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	8" X 1 1/2" X .080" ALUMINUM SPACER FRAME
2	1 1/2" FLAT ALUMINUM RETAINER
3	2" X 2" X 3/16" ALUMINUM ANGLE
4	1 1/2" X 1 1/2" X 3/16" ALUMINUM ANGLE
5	2" X 3/16" ALUMINUM STRAP
6	.063" ALUMINUM BACK
7	1/2" EYEBOLT
8	GE 7100K WHITE LED'S AS REQUIRED
9	LED POWER SUPPLIES AS REQUIRED
10	DISCONNECT SWITCH
11	ELECTRICAL OUT: THRU BACK, CENTER OF CABINET
12	.150" CLEAR SOLAR GRADE POLYCARBONATE FACE
13	SCREENED DECORATION (2ND SURFACE)

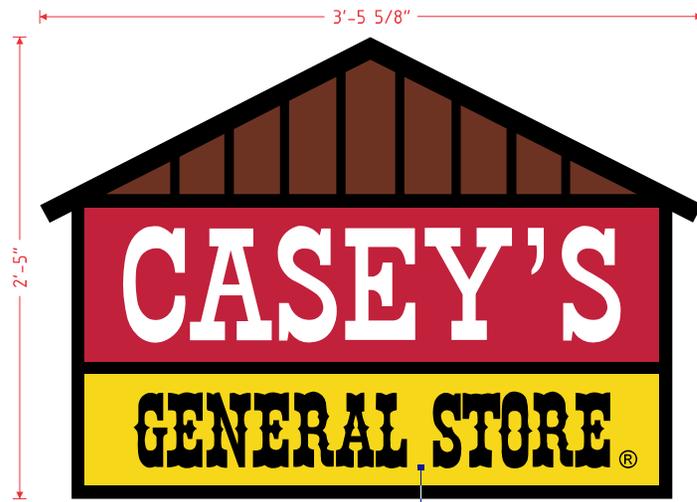
NOTES:

- DESIGN FACTOR: TO BE DETERMINED
- 8" X 1 1/2" X .080" ALUMINUM SPACER FRAME
- 1 1/2" FLAT ALUMINUM RETAINER
- EXTERIOR FINISH: PAINT BRONZE
- INTERIOR FINISH: PAINT REFLECTIVE WHITE
- RETAINERS REMOVABLE FOR SERVICE ACCESS
- U.L. LISTED
- ELECTRICAL: 1.10 AMPS/120 VOLTS
- SQUARE FOOTAGE  
BOXED: 35.86  
ACTUAL: 26.74

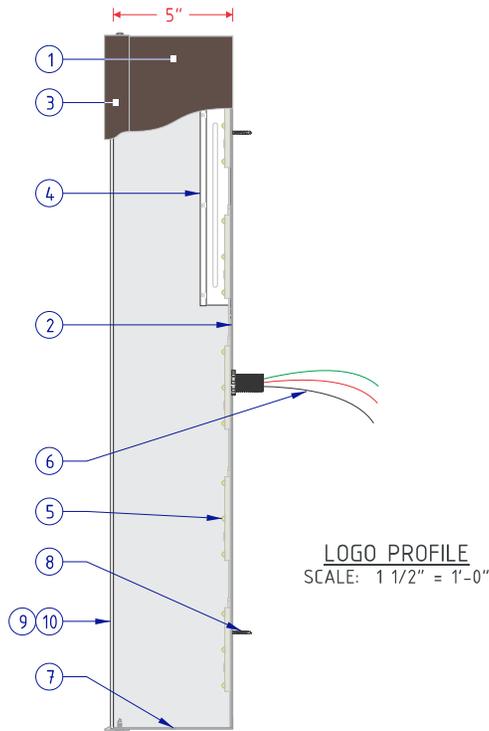


GRAPHIC DETAIL  
SCALE: 1/2" = 1'-0"

Customer: <b>CASEY'S GENERAL STORES</b>	Date: <b>01/30/18</b>	Prepared By: <b>JW/AP/RA</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 <p><b>persona</b> SIGNS   LIGHTING   IMAGE</p>	DISTRIBUTED BY SIGN UP COMPANY 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com
Item Number: CAS-5X7SFRSIGN-S	File Name: <b>CAS 5 X 7 SINGLE FACE LED SIGN</b>		Revision: <b>3</b>		



GRAPHIC DETAIL  
SCALE: 1" = 1'-0"



CASEY'S 2 X 3 CHANNEL LETTER LOGO SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" x 5" PREFINISHED BRONZE ALUMINUM RETURNS
2	.063" ALUMINUM BACK
3	1" BRONZE TRIM CAP
4	LED POWER SUPPLY AS REQUIRED
5	GE 7100K WHITE LED'S AS REQUIRED
6	ELECTRICAL OUT PROVISION: THRU BACK, CENTER
7	DRAIN HOLES AS REQUIRED
8	MOUNTING HARDWARE AS DETERMINED BY SITE CONDITIONS
9	.118" CLEAR SOLAR GRADE POLYCARBONATE FACE
10	SCREENED DECORATION (2ND SURFACE)

NOTES:

- EXTERIOR FINISH: PAINTED TO MATCH PMS 313 BRONZE
- INTERIOR FINISH: PAINTED REFLECTIVE WHITE
- FACE REMOVABLE FOR SERVICE ACCESS
- U.L. LISTED
- ELECTRICAL: .65 AMPS/120 VOLTS
- SQUARE FOOTAGE:  
     BOXED = 8.38  
     ACTUAL = 6.38

Customer:  
**CASEY'S GENERAL STORES**

Date:  
**01-18-18**

Prepared By:  
**RS/RA/AP/RA**

Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.

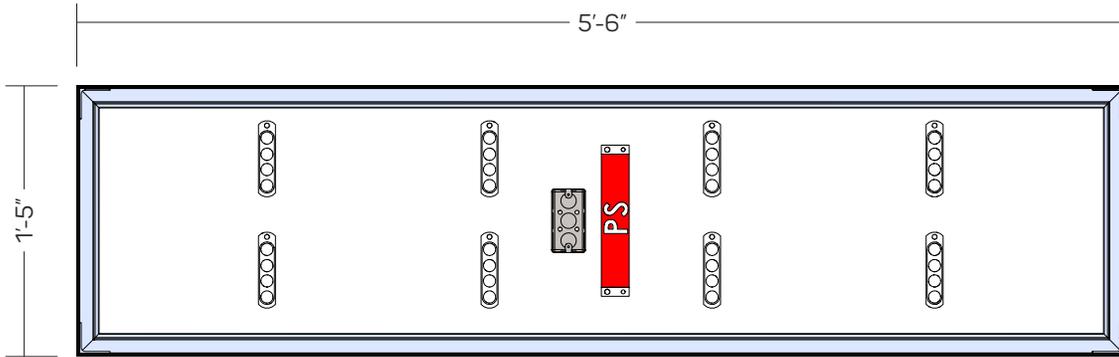
Item Number: CAS-2X3CLEDITLOGOF-S

File Name:  
**CAS 2 X 3 SINGLE FACE LED CHANNEL LETTER LOGO**

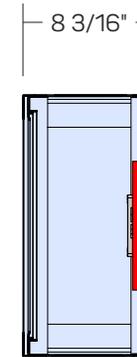
Revision:  
**3**

**persona**  
SIGNS | LIGHTING | IMAGE

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FRAME DETAIL  
SCALE: 1" = 1' 0"



FRAME SIDE DETAIL  
SCALE: 1" = 1' 0"



GRAPHIC DETAIL  
SCALE: 1/2" = 1' 0"

**SPECIFICATIONS**

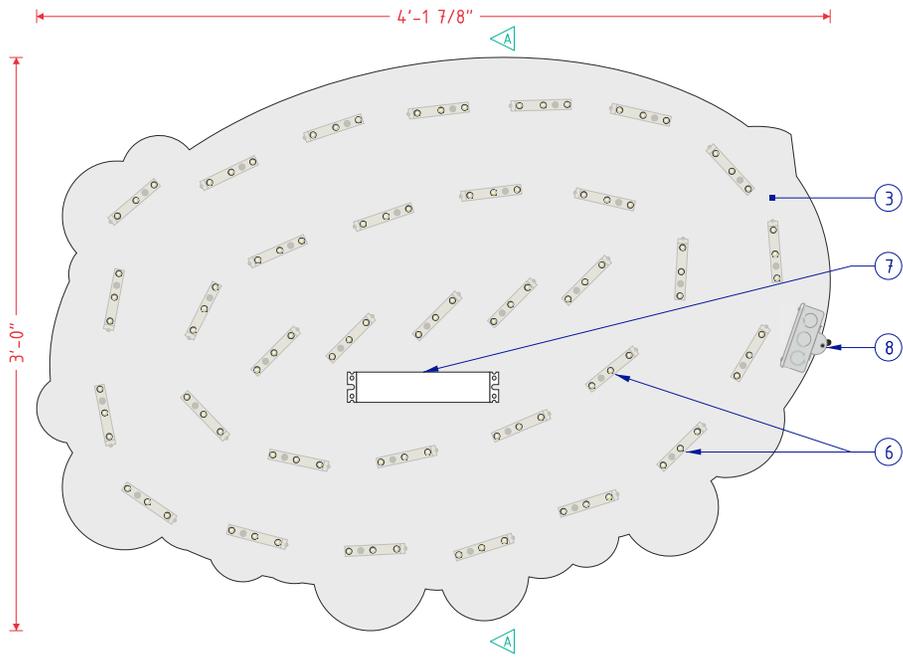
- DESIGN FACTOR: TO BE DETERMINED
- 8" PERSONA ALUMINUM EXTRUSION FRAME
- 1-1/2" RETAINERS
- .063 ALUMINUM BACK
- EXTERIOR FINISH: PAINT BLACK
- INTERIOR FINISH: REFLECTIVE WHITE
- .177 CLEAR POLY RIGID FACE
- VINYL DECO: 3630-53 RED BACKGROUND
- PAINT DECO: 403 WHITE "EXIT"  
"TOUCH FREE" & "SOFT TOUCH"
- FLUSH WALL MOUNT
- U.L. LISTED
- ELECTRICAL OUT: CENTER BACK
- GE 7100K WHITE LED'S AS REQUIRED
- ELECTRICAL: 120 VOLTS / 1.1 AMPS
- BOXED AREA: 7.79 SQ FT

**SIGNS WILL BE TAN WITH BLACK COPY  
ARTWORK TO COME**

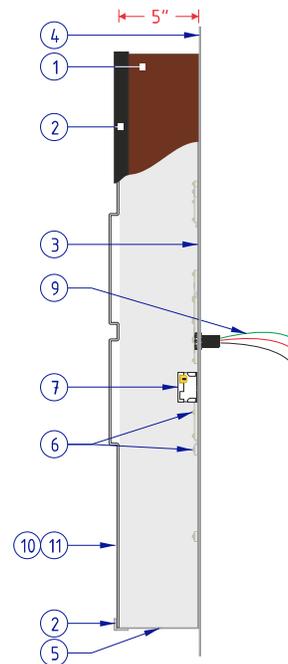
620808

Customer: <b>CASEY'S</b>	Date: <b>3/22/19</b>	Prepared By: <b>SC/JS</b>	MODEL BY: <b>JL</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>	 <p><b>DISTRIBUTED BY SIGN UP COMPANY</b> 700 21st Street Southwest PO Box 210 Watertown, SD 57201-0210 1.800.843.9888 • www.personasigns.com</p>
Location: <b>VARIOUS</b>	Item number: ----	File Name: <b>165231 - R1 - VARIOUS - SF EXIT - SF TOUCH FREE - SF SOFT TOUCH - SF ENTER - C PRINTS</b>			

# SIGN 9



**FRAME & LAMP DETAIL**  
SCALE: 1" = 1'-0"



**CROSS SECTION A-A**  
SCALE: 1" = 1'-0"

CASEY'S 36" EXPRESS WASH SIGN SPECIFICATIONS	
NO.	PART/DESCRIPTION
1	.040" X 5" PREFINISHED BRONZE/WHITE RETURNS
2	3/4" ROUTED ALUMINUM RETAINER PAINTED BLACK
3	.063" ALUMINUM BACK
4	.080" ALUMINUM BACKER PANEL
5	DRAIN HOLES AS REQUIRED
6	GE 7100K WHITE LED'S AS REQUIRED
7	LED POWER SUPPLIES AS REQUIRED
8	DISCONNECT SWITCH
9	ELECTRICAL OUT: THRU BACK, CENTER OF CABINET
10	.118" CLEAR, SOLAR GRADE, EMBOSSED, POLYCARBONATE FACE
11	DIGITALLY PRINTED DECORATION (2ND SURFACE)

**NOTES:**

- DESIGN FACTOR: TO BE DETERMINED
- 5" DEEP CHANNEL LETTER CONSTRUCTION
- 3/4" ROUTED ALUMINUM RETAINER
- EXTERIOR FINISH: PREFINISHED BRONZE
- INTERIOR FINISH: REFLECTIVE WHITE
- U.L. LISTED
- ELECTRICAL: 0.65 AMPS/120 VOLTS
- SQUARE FOOTAGE:  
BOXED: 12.48  
ACTUAL: 9.55



**GRAPHIC DETAIL**  
SCALE: 3/4" = 1'-0"

Customer: <b>CASEY'S</b>	Date: <b>12/29/17</b>	Prepared By: <b>JW/AP/RA</b>	<small>Note: Color output may not be exact when viewing or printing this drawing. All colors used are PMS or the closest CMYK equivalent. If these colors are incorrect, please provide the correct PMS match and a revision to this drawing will be made.</small>
Item Number: CAS-36LEDOVEWSIGN-S1	File Name: <b>CAS 36" EXPRESS WASH SIGN</b>		



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Revision:  
**2**

**NOTE:**  
 SYMBOL INDICATES EXISTING UTILITY TO EXISTING STRUCTURE TO BE REMOVED OR DISCONNECTED BY APPROPRIATE CONTRACTOR. VERIFY WITH UTILITY COMPANY REPRESENTATIVE.

### Utility Notes

- UTILITY NOTE #1:** ELECTRICAL (C-STORE); ELECTRICAL SERVICE ENTRANCE. ELECTRIC 3 PHASE, 800 AMP, 208 VOLTS, 4 WIRE. TELEPHONE 20 PAIR, 8 LINES.
- UTILITY NOTE #2:** GAS (C-STORE); 1.5" SCHEDULE 40 IRON PIPE GAS SERVICE CONNECTION. CONNECTION LOAD IS 680 MBH. TOTAL CONNECTED LOAD IS 680,000 BTU/HR. HOUSE PRESSURE IS 7" W.C.
- UTILITY NOTE #3:** SANITARY SEWER (C-STORE); 6" SCHEDULE 40 PVC SANITARY SEWER CONNECTION.
- UTILITY NOTE #4:** SANITARY SEWER (C-STORE); 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES.
- UTILITY NOTE #5:** WATER (C-STORE & CAR WASH); 2" CTS, HDPE, SDR9 C5-200 PSI WATER SERVICE CONNECTION.
- UTILITY NOTE #6:** SANITARY SEWER (CAR WASH); 3,000-GAL. OIL/SAND INTERCEPTOR 2 MANHOLES BELOW GRADE.
- UTILITY NOTE #7:** ELECTRICAL (CAR WASH); ELECTRICAL SERVICE ENTRANCE. ELECTRIC 3 PHASE, 600 AMP, 208 VOLTS, 4 WIRE.
- UTILITY NOTE #8:** (GAS SINGLE WASH); 7" W.C. HOUSE PRESSURE TOTAL CONNECTED LOAD 599 MBH INPUT.
- UTILITY NOTE #9:** (CAR WASH); (2) LOW VOLTAGE 1" CONDUITS: (1)- 1" TO FRONT COUNTER, (1)- 1" TO SAGE NET AREA (2)- 2" SPARES TO STORE ELECTRICAL PANEL ROOM

### General Construction Notes

- PETROLEUM:**
- 1.) 2 - 30,000 GALLON DOUBLE WALL FIBERGLASS TANKS. TANK 1 - 22,000 GALLON (87E) TANK 2 - 14,000 GALLON (DIESEL)
  - 2.) TANK 3 - 8,000 GALLON (91C) TANK 4 - 8,000 GALLON (93E) TANK 5 - 8,000 GALLON (E85)
  - 3.) TANK SETTING DETAILS PAGE QF-301
  - 4.) FILL PIPE AND MANHOLE DETAIL PAGE QF-301
  - 5.) GILBARCO WIRING PAGE QF-601
  - 6.) GAS ISLAND SIZE - 3' x 5' WIDUAL GUARD PIPE
  - 7.) GAS GILBARCO 700 S DISPENSERS (BLENDED)
  - 8.) 2" NG1 4 NOZZLES & 8 METERS EACH 4" NF8 6 NOZZLES & 8 METERS EACH ISLAND CONDUIT DETAIL PAGE E-602
  - 9.) DO NOT PLACE PRODUCT PIPING UNDER ISLAND
  - 10.) 18" MIN. FROM TANK PIPING TO FINISH SURFACE
  - 11.) RUN VENT LINES UP SEPARATE CANOPY COLUMN. VERIFY ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB IF ALL FUEL DISPENSERS DO NOT FALL WITHIN A 100 RADIUS.

- APPROACHES/CONCRETE:**
- 13.) DRIVEWAY JOINTS TO BE PACKED & CAULKED
  - 14.) CONCRETE DRIVE TROWELED WITH LIGHT BROOM FINISH
  - 15.) CONTROL JOINTS - MIN. 100 sq.ft. - MAX. 125 sq.ft. - 25% DEEP
  - 16.) CONSTRUCTION JOINTS - PINNED 4" O.C. 12" EACH WAY WITH 1/2" REBAR #4
  - 17.) APPROACHES TO BE 7" NON-REINFORCED OR AS PER STATE/CITY SPEC.
  - 18.) SLOPE MAX. 2% FOR BUILDING SIDEWALK. H.C. PARKING 1:50 ALL DIRECTIONS
  - 19.) ALL ACCESS ISLE STRIPING AT 45 DEGREE ANGLE BEING MAX. 4' SEPARATION
  - 20.) 2% MAX. CROSS-SLOPE IN APPROACH/SIDEWALK AREA
  - 21.) 10" ROLL-OVER CURB TYP. - SEE STANDARD CIVIL DETAILS
  - 22.) CANOPY FOOTING: SIZE 6'-3" LENGTH x 6'-3" WIDTH x 3'-0" DEPTH. CONCRETE: MINIMUM COMPRESSIVE STRENGTH OF F'C-3000 p.s.i. CONCRETE REINFORCING: ASTM A-615 GRADE 60. REBAR CAGE: (8) #6 HORIZONTAL TIES LENGTH WISE TOP AND BOTTOM 12" MAXIMUM SPACING.
  - 23.) SIGN BASE AND DETAILS PAGE AL-601

- SITE ITEMS:**
- 24.) VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS.
  - 25.) IRRIGATION REQUIRED WITH RAIN SENSOR MOUNTED ON BACK RAILING OF ROOF.
  - 26.) AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE. INSTALLED ON 3' x 6' CONCRETE PAD 18" FROM BACK OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.

### Legal Description

Legal description contained in Commitment for Title Insurance issued by First American Title Insurance Company Commitment No. 119090123

Lot 2, Certified Survey Map 11019, recorded in Vol. 66 of Certified Survey Maps, page 105, as #3887878, in the Village of Mount Horeb, Dane County, Wisconsin.

ALSO DESCRIBED AS:

A parcel of land being Lot 2 of CSM 11019, being part of the East Half of the Southeast Quarter of Section 7, Township 10 North, Range 7 East, the part of which was recorded March 24, 2004 in Volume 66 of Certified Survey Maps on Pages 105 - 107 in the Register's Office of Dane County, Wisconsin, described as follows:

Beginning at the Southwest corner of said Lot 2; thence North 0 degrees 00 minutes 43 seconds East along the West line of said Lot 2, a distance of 1475.42 feet to the Northwest corner thereof, said point also lying in the Southerly line of a public road Designated County Highway 1 D; thence South 66 degrees 44 minutes 04 seconds East along the Northerly line of said Lot 2 and the Southerly line of said County Highway 1 D, a distance of 9.55 feet to a point of curvature; thence Southeasterly along the Northerly line of said Lot 2 and the Southerly line of said County Highway 1 D, along a circular curve whose radius is 1352.39 feet and whose center lies to the Southwest, the long chord of which curve bears South 55 degrees 05 minutes 56 seconds East, a chord distance of 541.02 feet; thence South 36 degrees 24 minutes 16 seconds East along the Northerly line of said Lot 2 and the Southerly line of said County Highway 1 D, a distance of 187.79 feet; thence Southeasterly along the Northerly line of said Lot 2 and the Southerly line of said County Highway 1 D, along a circular curve whose radius is 1342.39 feet and whose center lies to the West, the long chord of which curve bears South 33 degrees 02 minutes 11 seconds East, a chord distance of 116.56 feet to the Northeast corner Lot 1 of said CSM 11019; thence South 68 degrees 59 minutes 34 seconds West along the North line of said Lot 1, a distance of 553.03 feet to the Northwest corner thereof; thence South 21 degrees 03 minutes 59 seconds East along the West line of said Lot 1 and the East line of said Lot 2, a distance of 528.29 feet to the Southwest corner of said Lot 1, said point also being the Southeast corner of said Lot 2 and also being in the Northerly line of a public road designated U.S. Highway 18 & 151; thence South 54 degrees 20 minutes 29 seconds West along the South line of said Lot 2 and the Northerly line of said U.S. Highway 18 & 151, a distance of 245.56 feet; thence South 52 degrees 12 minutes 56 seconds West along the South line of said Lot 2 and the Northerly line of said U.S. Highway 18 & 151, a distance of 125.84 feet to the Point of Beginning, containing 424,297 square feet, 9.741 acres, more or less, all being situated in the Village of Mount Horeb, Dane County, Wisconsin.

Subject to the rights of the public and the people of the State of Wisconsin in and to that portion which lies within the right of way easement for Lillehammer Lane.

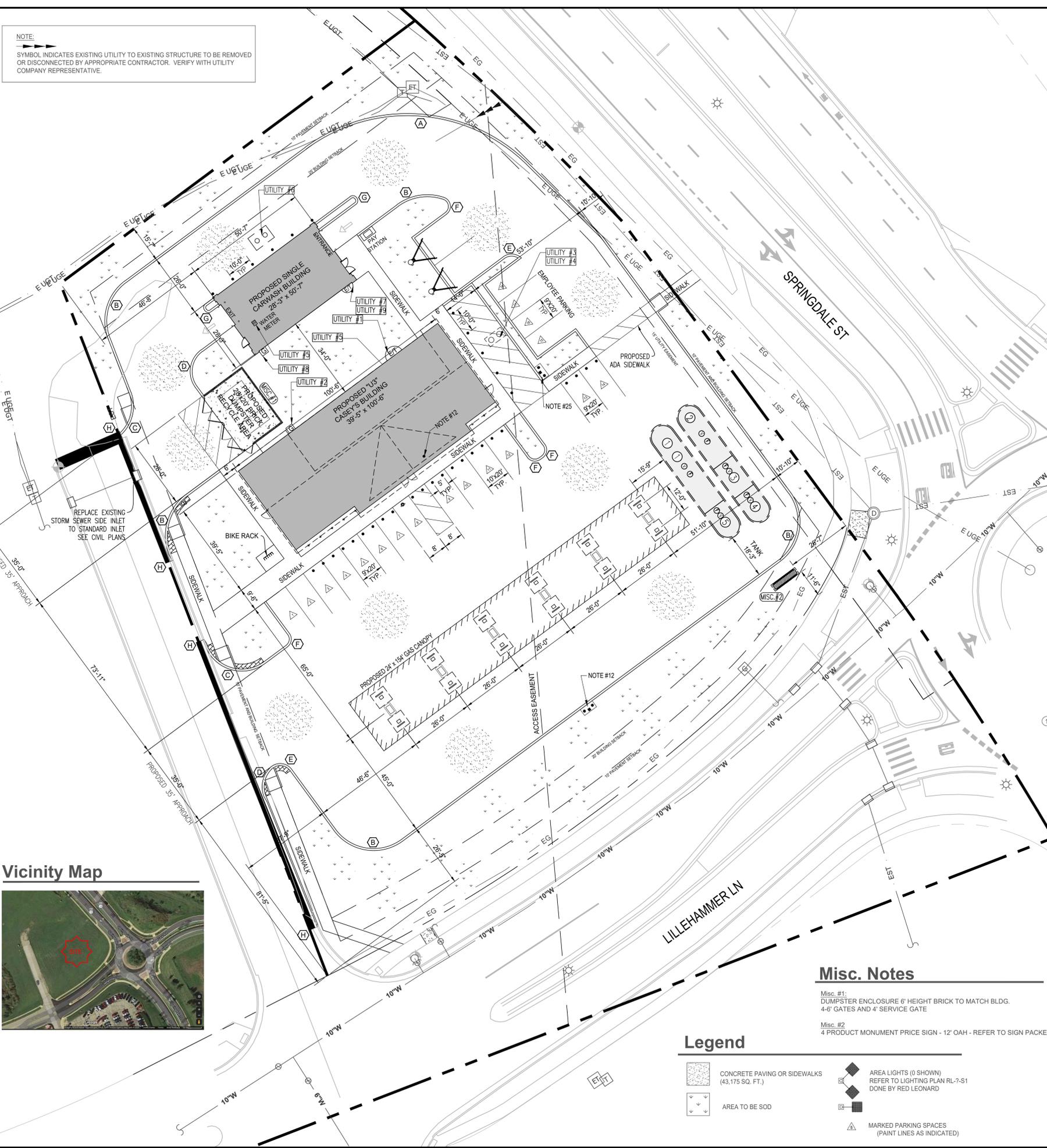
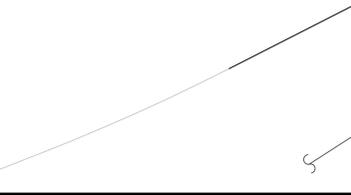
### U.G.S.T. Notes

- (F) FILL W/SPILL CONTAINMENT & OVERSPILL PROTECTION (TYP.)
- (1)(2)(3)(4)(5) TURBINE ENCLOSURE TYP. CONTAINS; SUB-PUMB W/LINE LEAK DETECTION, TANK PROBE FOR FUEL MONITORING, INTERSTITIAL SENSOR AND TANK SUMP SENSOR
- (V) VENT W/SPILL CONTAINMENT & EXTRACTOR
- SUMP SENSOR @ EACH DISPENSER.

### General Notes

1. RELATED SHEETS: FOR ADDITIONAL INFORMATION NOT DIRECTLY REFERENCED, SEE CIVIL PLANS DONE BY ARC DESIGN ENGINEERING.

### Vicinity Map



### Misc. Notes

- Misc. #1: DUMPSTER ENCLOSURE 6' HEIGHT BRICK TO MATCH BLDG. 4-6' GATES AND 4' SERVICE GATE
- Misc. #2: 4 PRODUCT MONUMENT PRICE SIGN - 12' OAH - REFER TO SIGN PACKET

### Legend

- (Stippled pattern) CONCRETE PAVING OR SIDEWALKS (43,175 SQ. FT.)
- (Dotted pattern) AREA TO BE SOD
- (Diamond symbol) AREA LIGHTS (0 SHOWN) REFER TO LIGHTING PLAN RL-S-1 DONE BY RED LEONARD
- (Triangle symbol) MARKED PARKING SPACES (PAINT LINES AS INDICATED)

### Keyed Construction Notes

- NOTE:** ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF MT. HOREB, WI.
- (A) PROPOSED 20' RADIUS
  - (B) PROPOSED 20' RADIUS
  - (C) PROPOSED 15' RADIUS
  - (D) PROPOSED 10' RADIUS
  - (E) PROPOSED 5' RADIUS
  - (F) PROPOSED 4' RADIUS
  - (G) PROPOSED 2' RADIUS

### Zoning Information

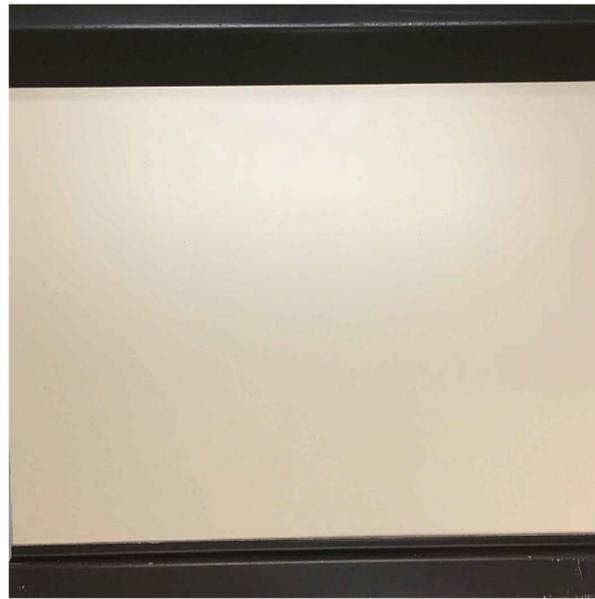
- Existing Zoning/ Land Use
1. Current Site Zoning: PB - Planned Business
  2. Current Site Use: Vacant
  3. Surrounding Land Use and Zoning:
    - a. North: Not part of the Village of Mt. Horeb - Springdale St, agricultural use
    - b. East: Roundabout, agricultural use and US-151
    - c. South: PB Planned Business - vehicle sales lot across Lillehammer Ln
    - d. West: Unnamed access road, P1 Planned Industrial
  4. Zoning Site Restrictions/ Requirements:
    - a. Minimum Lot Area: 20,000 sq ft
    - b. Maximum Building Height: 45 ft (15 ft for accessory buildings)
    - c. Minimum Building Setbacks
      - i. Front: 20 ft
      - ii. Side: 10 ft (5 ft for accessory buildings)
      - iii. Rear: 25 ft (5 ft for accessory buildings)
    - d. Minimum Canopy Setbacks
      - i. Front: 15 ft
      - ii. Side: 5 ft
      - iii. Rear: 5 ft
    - e. Where does each setback apply:
      - i. Front: Lillehammer Ln
      - ii. Side: From Springdale St/access roadway
      - iii. Rear: From lot line to north
    - f. Minimum Frontage: 75 ft - min. width at front setback line
    - g. Maximum Lot Coverage: 75%
    - h. Maximum Floor Area Ratio (FAR): .30

There is a well located within approximately 300 feet of the West Property line of the site, Springdale Lutheran Church is located over a 1/2 mile to the East of the areas surveyed. Good News Lutheran Church is located over 1/4 of a mile to the Northwest of the areas surveyed.

TRUE PLAN  
 NORTH NORTH  
**A1 Site Layout Plan**  
 1" = 20'

- SPECIAL REQUIREMENTS:**
- "U3 HIP ROOF STORE WITH SCREENING"
  - "BUILDING IS LOCATED IN OVERLAY DISTRICT WHICH WILL REQUIRE SPECIAL BUILDING DESIGN FEATURES"
  - "SINGLE LANE CARWASH WITH 4 SIDED BRICK & STONE COLUMNS"
  - "BRICK DUMPSTER ENCLOSURE"
  - "4-PRODUCT MONUMENT PRICE SIGN - 12' OAH"
  - "KNOX BOX REQUIRED"
  - "SANITARY SEWER CONNECTION IS APPROX. 500' AWAY"

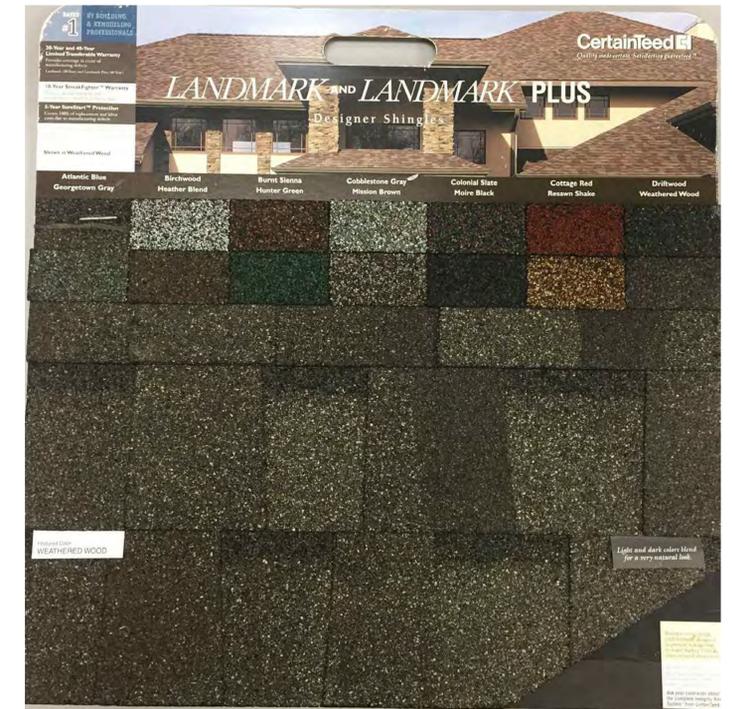
<b>CASEY'S CONSTRUCTION DIVISION</b> One Convenience Blvd., P.O. Box 3001, Ankeny, IA 50021 515-965-6100	
PROJECT: MT. HOREB, WI. "U3" HIP ROOF STORE W/CARWASH	DRAWING INFORMATION: PUBLISHED: 03-09-20 REVISIONS: 03-25-20 04-27-20 SITE PLAN
DRAWING INFORMATION: CONSTRUCTION DIVISION CHECKED BY: J.VILMAIN	AL-101



ACM PANEL SYSTEM "BBR TAN" (SAMPLE 1)



ACM PANEL SYSTEM SHOWN ADJACENT TO SHINGLES (SAMPLES 1 & 2)



"CERTAINTEED - WEATHERED WOOD" SHINGLES (SAMPLE 2)  
ARCHITECTURAL FIBERGLASS ASPHALT LAMINATED SHINGLES

"ANTIQUÉ RED" BRICK (SAMPLE 3)



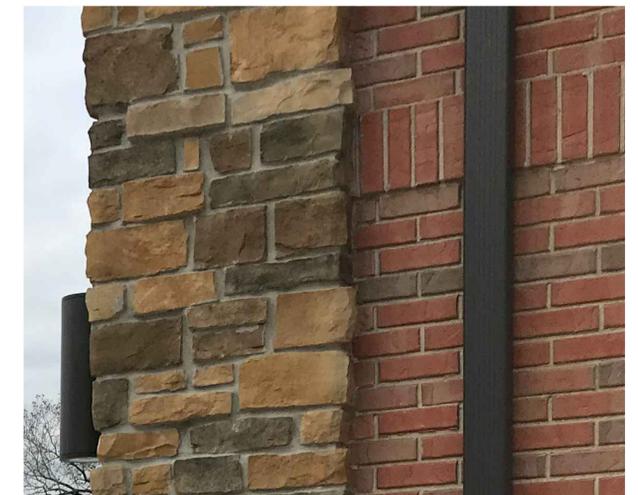
"BLOND" BRICK (SAMPLE 4)



"BROWN RUSTIC" CULTURED STONE (SAMPLE 5)



"BROWN RUSTIC" CULTURED STONE ADJACENT TO "ANTIQUÉ RED" BRICK (SAMPLES 3 & 5)



"CERTAINEED - WEATHERED WOOD" SHINGLES (SAMPLE 2)

ACM PANEL SYSTEM "BBR TAN" (SAMPLE 1)



FRONT BUILDING ELEVATION

"BROWN RUSTIC" CULTURED STONE (SAMPLE 5)

"ANTIQUERED" BRICK (SAMPLE 3)

"BLOND" BRICK (SAMPLE 4)



REAR BUILDING ELEVATION

ALUMINUM SCREENING. SEE ALUMINUM ACCENT ON SAMPLE 1 AND PHOTO OF SAMPLES 1 AND 2 TOGETHER FOR COLOR COMPARISON TO ROOFING.



"BROWN RUSTIC" CULTURED STONE  
(SAMPLE 5)

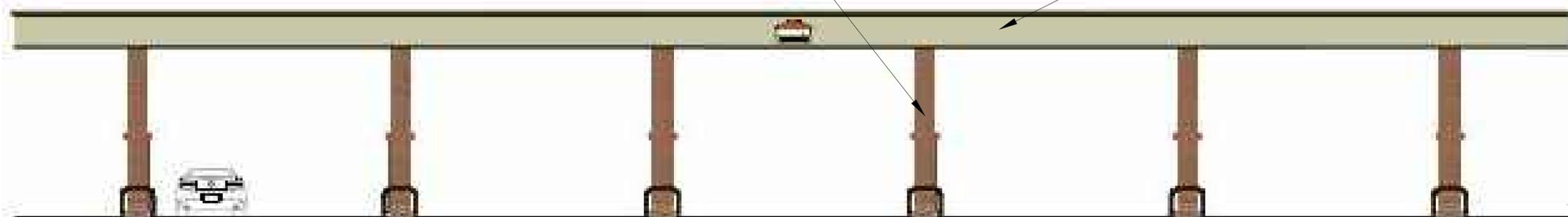
"BLOND" BRICK  
(SAMPLE 4)



CAR WASH ELEVATION

"ANTIQUE RED" BRICK  
(SAMPLE 3)

ACM PANEL SYSTEM "BBR TAN"  
(SAMPLE 1)



CANOPY ELEVATION





# VANDEWALLE & ASSOCIATES INC.

## MEMORANDUM

To: Village of Mount Horeb Plan Commission  
From: Village Planner Michael A. Slavney, FAICP  
Date: May 22, 2020  
Re: Village Planner's CUP, Site Plan and Design Review Comments for Proposed Casey's Convenience Store, Gas Station, and Car Wash for May Plan Commission

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### **Introduction**

Casey's is proposing a new store located at the west corner of Springdale Street and Lillehammer Lane – across from Symdon Chevrolet. The proposed development is presented in the packet dated May 6, 2020. The site is proposed for a convenience store, six fueling islands containing gas pumps, and a one-bay car wash. The site is zoned Planned Business (PB), which allows the convenience store as a permitted by right Indoor Sales and Service land use; the gas pumps and car wash as In-Vehicle Sales and Service land uses requiring a conditional use permit; and a conditional use permit for Outdoor Display limited to a propane cage and ice machines located along the south wall of the building, with no additional display areas.

Casey's and its agents, Design Resources Inc., have been working closely with Village Staff to design and refine a submittal to meet all zoning requirements, including zoning district, land use, and design review requirements. Village Staff believes the submittal is now compliant with most objective zoning requirements, with some need for exemptions from requirements to be considered by Plan Commission under the Village Design Review process.

This review is based on the updated plan set dated May 6, 2020 and presented in the May Plan Commission packet. For several of the requested exemptions, I recommend *the yellow highlighted items should be discussed at the May Plan Commission meeting.*

### **Zoning District, Land Use, and Site Layout Requirements**

Subject Property has Planned Business (PB) Zoning:

- Three land uses categories are proposed for this project:
  - Indoor Sales and Service – permitted by right
  - In-Vehicle Sales or Service – requires a conditional use permit
  - Outdoor Display – requires a conditional use permit. The sole location proposed for Outdoor Display (for propane and ice) is located along the south wall of the building.
- PB Zoning District intensity (coverage) and bulk (setback and height) requirements are all met.

- Other land use issues: A condition of car wash approval will be for the car wash to recycle water.
- Site Design: Except for for several Architectural Requirements for Roof Form on the rear of the building and on the canopy, and for the required Building Foundation Planting Area on the west side of the car wash, all objective Design Review requirements are met. If acceptable to the Plan Commission, these will require explicit waivers from the Design Review Requirements. These issues are discussed in detail in the Recommendations Section, below.
- Landscaping: All landscaping requirements are met, including requirements for Building Foundation, Paved Areas, Street Frontages (3), and General Open Space. Provided landscaping points exceed required points by a modest percentage.
- Signage:
  - The proposed Free Standing and On-Building and Canopy Signs comply with all requirements. The wall area behind the main on-building signs must remain in a neutral color and material used elsewhere on the building and not associated with the specific business.
  - Directional signs for the car wash traffic flow are in-compliance with size, number, and location requirements.
  - Pump island signage is limited to a maximum of one square foot.
  - Temporary signage will be limited and shall comply with all Village requirements.

**Design Review Requirements per Section 17-14:**

Design Review by the Plan Commission is required under Section 17.14 of the Zoning Ordinance. Design Review is required for all development projects in the Village, except residential development with three or fewer dwelling units. The Design Review requirements in Section 17.14(4)(b) identify 27 Design Directives. The Plan Commission has the ability to waive any Design Directive or add additional design requirements upon a finding that the additional design requirement would improve the project.

Generally, this project has been refined by working with Village Staff to comply with most Design Review requirements. I recommend the Plan Commission discuss the few remaining items **highlighted in yellow**, which require *subjective* Plan Commission review and approval, or require an *explicit waiver* by the Plan Commission.

**1. Site Grading:**

- a. The grading plan shall preserve existing grades to the greatest extent possible, particularly at the perimeter of the site.
  - The Grading Plan appears to address the elevation change on the property in an appropriate manner.
- b. In no instance shall proposed grading create transitions to adjoining properties or rights-of-way that are unsafe, unstable or create drainage problems.
  - Same comment as 1.a., above.
- c. Site grading shall also preserve or create an attractive site appearance in conjunction with the proposed development.
  - Same comment as 1.a., above.

## **2. Existing Site Vegetation and Other Natural Features:**

- a. The grading and development plans shall preserve, protect, and maintain important existing site vegetation as identified by the Plan Commission. Examples include hedgerows, groves and individual specimen trees.
  - There is no significant existing vegetation on the site.
- b. Topsoil used at the development site should be from on site, to the extent possible, particularly in areas under the drip line of preserved vegetation.
  - The Site Plan is designed to meet enable the Grading Plan to meet this requirement.

## **3. Site Layout Relation to Abutting Streets:**

- a. In general, the layout of buildings, structures, pavement, parking and landscaping shall be compatible with the general pattern for similar land uses in the vicinity, as determined by the Plan Commission.
  - This is a challenging site, with two public street frontages, the site approach from a private drive, and the buildings highly visible when approaching on Springdale Street from the west. The development plan proposes the building facing east – toward US 151 and Lillehammer Lane, which results in the building side facing Springdale Street and the building rear facing west down the length of Springdale Street. The building elevations and landscaping plan have been upgraded to address this challenge and Plan Commission suggestions.
- b. The general site layout shall result in an attractive appearance to all abutting streets, as determined by the Plan Commission.
  - Same as 3.a., above.

## **4. Building Setbacks:**

- a. Building setbacks shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 4.b. and 4.c.
  - This requirement is met on all sides of the store, car wash, and canopy.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, the entire street side of buildings shall be located at or within 3 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process.
  - This requirement is not applicable, as the subject property is not located in the specified area.
- c. Within the CTH ID corridor between STH 78 and USH 151, the entire street side of buildings shall be located at or within 30 feet of all abutting street rights-of-way, unless an exception is granted through the conditional use process. Parking shall not be permitted in this area. Drives for one-way circulation and/or emergency vehicle access may be permitted through the conditional use process.
  - This requirement is met on all sides of the store, car wash, and canopy.

**5. Building Height:**

- a. Building heights shall comply with the requirements of the zoning district, and with the additional requirements listed below in subparagraphs 5.b. and 5.c.
  - This requirement is met.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, building heights shall be a minimum of 20 feet and shall be a minimum of 2 stories, unless an exception is granted through the conditional use process.
  - This requirement is not applicable, as the subject property is not located in the specified area.
- c. Within the CTH ID corridor between STH 78 and USH 151, building heights shall provide a functional or decorative building tower or related architectural feature that exceeds the height of the majority of the building facade by at least 7 feet, unless an exception is granted through the conditional use process. Roofs, and roof appurtenances such as cupolas, shall not count toward this requirement.
  - The Plan Commission indicated during its May meeting that this requirement is met.

**6. Building Mass:**

- a. Buildings over 5,000 square feet of gross floor area shall be subject to the requirements for large developments.
  - The project is below 5,000 square feet and is not subject to those requirements.

**7. Building Facades:**

- a. Long building facades shall be visually broken up and variegated with staggers and offsets as determined appropriate by the Plan Commission.
  - The Plan Commission indicated during its May meeting that this requirement is met.
- b. All building facades facing streets, drives or parking areas shall provide regularly spaced openings for windows and doors, and regularly spaced decorative elements such as piers and columns. The size and spacing of these features shall be compatible with nearby structures that meet this requirement, as determined by the Plan Commission.
  - The Plan Commission indicated during its May meeting that this requirement is met.
- c. All building facades facing streets, drives or parking areas shall provide a pattern of upper story openings that is compatible with the pattern established by the ground floor, as determined by the Plan Commission.
  - Not applicable for this one-story building. This requirement is met.
- d. Within the downtown zoning district, and particularly along Main Street and the commercially developed portions of intersecting streets, building facades shall employ traditional storefront design by providing pilasters, transom windows, cornices, lintels and related decorative details to highlight transitions between the ground floor and upper stories and between upper stories and the parapet.

- This requirement is not applicable, as the subject property is not located in the specified area.

#### **8. Exterior Building Materials:**

- a. Exterior materials for multi-family, office, or commercial buildings may not include metal wall panels, concrete panels, plain concrete block, asphalt, or spandrel window panels, unless an exception is granted through the conditional use process.
  - This requirement is met with the proposed wall materials.
- b. Hard and durable materials including decorative block, brick or stone, shall be required on all exterior portions of the structure within 40 inches of the adjacent grade.
  - This requirement is met on all sides of the building.

#### **9. Exterior Building Colors:**

- a. Exterior colors of all buildings, structures, appurtenances and paving shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
  - i. Within the downtown area, the Victorian color palette shall be used, or other colors must be approved by the Plan Commission.
    - This requirement is not applicable, as the subject property is not located in the specified area.
  - ii. Throughout the rest of the Village, primary colors including red, blue, green, yellow, black, and fluorescent colors shall not be permitted. Where an integral part of site design, muted versions of these colors may be used, as approved by the Plan Commission.
    - This requirement is met on all portions of the store, car wash, and canopy using calm, neutral colors.
  - iii. High gloss paints and other exterior finishes are not permitted.
    - This requirement is met on all portions of the store, car wash, and canopy.
  - iv. Color patterns shall be used consistently throughout the property, as determined by the Plan Commission.
    - This requirement is met on all portions of the store, car wash, and canopy.

#### **10. Exterior Doors:**

- a. All exterior doors visible from streets, drives or parking areas shall provide decorative design elements.
  - This requirement is not met on the man doors on the north and west facades, which are visible from Springdale Street. At the May meeting, the Plan Commission indicated that a **waiver** from this requirement should be granted for these doors.

## 11. Windows:

- a. Spandrel panels, mirrored glass or heavily-tinted windows are not permitted. Where screening is desired, vertical or horizontal strip blinds may be used.
  - This requirement is not met. As discussed above, “faux windows” (spandrel window panels) are proposed on the store. At the May meeting, the Plan Commission indicated that a **waiver** from this requirement should be granted for the use of spandrel in the depicted locations.
- b. Windows may not be obscured by paper or other attached materials on more than 5% of any individual window panel.
  - This requirement is met on all portions of the store and car wash. Continual compliance is required after building occupancy.

## 12. Roofs:

- a. Roof forms and materials shall be compatible and harmonious with those of existing buildings in the immediate area which conform to these design requirements, as determined by the Plan Commission.
  - This requirement is not be met on the highly visible rear west façade of the building. The proposed rear roof is a substantial upgrade from the originally proposed treatment. At the May meeting, the Plan Commission indicated that a **waiver** from this requirement should be granted for the proposed western roof form.
  - The Plan Commission discussed requiring tall evergreen screening of this area. Two deciduous canopy trees are proposed between the store and the car wash. Is this approach acceptable to the Plan Commission?
- b. Metal roofs shall not be used for multifamily, office or commercial buildings, unless an exception is granted through the conditional use process.
  - This requirement is met.
- c. Roof forms shall be designed to accommodate the requirements in subparagraphs 5.c. and 7.d., above.
  - This requirement is met.
- d. Rooftop mechanical equipment shall not exceed the elevation of the lowest point of the surrounding building parapet or roof.
  - This requirement is not met on the rear (west) side of the roof. However, the roof is proposed to use screening panels to conceal views of the rooftop mechanicals. At the May meeting, the Plan Commission indicated that a **waiver** from this requirement should be granted for the metal screens as depicted in the submittal.

## 13. Exterior Building Appurtenances:

- a. Building facades shall be uncluttered by the minimal use and careful placement of brackets, wiring, meter boxes, antennae, gutters, downspouts and other appurtenances. Where necessary, such features shall be colored to blend in, rather than contrast, with the immediately adjacent building exterior.

- At the May meeting, the Plan Commission indicated that this requirement is met in terms of placement of appurtenances, however, the Plan Commission directed that all of the wall-mounted appurtenances be painted to blend in with the adjacent store wall.

#### 14. Awnings:

- a. Awnings, where approved by the Plan Commission, shall complement the character of the building.
  - This is an option often recommended for buildings with a residential form (gable roofs, horizontal siding). I believe this requirement is met.
- b. Soft, weather-treated canvas or vinyl materials which allow for flexible or fixed installation may be used. Metal canopies are prohibited.
  - This requirement is met.
- c. Backlighting is prohibited.
  - This requirement is met.

#### 15. Trash Containment Structures:

- a. Trash containment structures shall be designed to fully conceal trash storage.
  - This requirement is met.
- b. Trash containment structures shall be constructed in the same materials and colors as the ground floor of the principal building.
  - This requirement is met.
- c. Wood or synthetic wood gates shall be used and shall be arranged in a pattern to provide complete opacity. Metal panel gates and metal fence gates with strips are prohibited.
  - This requirement is met.

#### 16. Freestanding Canopy Structures:

- a. Freestanding canopy structures, such as those providing shelter at a gas station or drive-up banking station, shall be designed to complement the design of the principal building, as determined by the Plan Commission.
  - This requirement is met. The canopy supports have been upgraded to match the design, materials and colors of the primary building.
- b. Canopy roofs shall employ the same pitch, materials and colors as the roof of the principal building, unless an exception is granted through the conditional use process.
  - This requirement is not met. Does the Plan Commission wish to grant an exception for this requirement? At the May meeting, the Plan Commission indicated that a waiver from this requirement should be granted to allow the flat canopy roof.
- c. Canopy supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
  - This requirement is now met for the canopy supports.

**17. Other Structures:**

- a. Outbuildings shall employ the same high-quality exterior building materials as used on the principal building.
  - This requirement is met by the car wash building.
- b. Walls and fences shall employ high-quality materials such as metal pickets, stone, decorative block or brick which complement the principal building, as determined by the Plan Commission.
  - This requirement is met by the car wash building.

**18. Exterior Lighting:**

- a. All exterior lighting shall use decorative fixtures, as approved by the Plan Commission. Such fixtures shall be consistent in design theme throughout the site.
  - This requirement is met.
- b. All exterior light bulbs shall not be visible from beyond any property line. Directional or cutoff fixtures shall be used to meet this requirement.
  - This requirement is met.
- c. Lighting at the property lines shall not exceed 0.5 footcandles over ambient conditions.
  - This requirement is met.
- d. Maximum lighting shall not exceed 10.0 footcandles on the site, except in areas serving in-vehicle uses such as drive-up windows and fueling areas. In such locations, maximum lighting shall not exceed 25.0 footcandles.
  - This requirement is met.
- e. Freestanding light fixtures shall not exceed a total height of 20 feet.
  - This requirement is met by the maximum 16-foot mounting height of the pole fixtures.

**19. Exterior Signage:**

- a. Exterior signage shall complement the design of the overall site, as determined by the Plan Commission.
  - This requirement is met.
- b. Freestanding sign supports shall be decorative in nature and shall employ the same materials and colors as the principal building. Exposed nondecorative supporting poles are not permitted.
  - This requirement is met.

**20. Outdoor Display or Storage:**

- a. All outdoor display and/or storage areas must be clearly depicted and labeled on an approved site plan. Said label shall specify the general types of materials to be displayed or stored, including: retail or rental display; retail or rental vehicle display; long-term business vehicle storage; equipment storage; refuse storage; scrap equipment or vehicle storage.

- This requirement is met. Outdoor display is limited to a propane cage and ice machine located on the south side of the store building. No other areas of outdoor display are proposed or approved anywhere else on the site.
- b. Outdoor storage areas shall be adequately screened from view from adjacent properties and streets, drives and parking areas, as determined by the Plan Commission.
  - This requirement is met. Other than within the trash enclosure, there are no areas of outdoor display depicted or approved anywhere else on the site.

**21. Pavement Materials:**

- a. All traffic circulation, parking and pedestrian areas shall be provided with a hard, durable surface such as concrete, asphalt, pavement blocks or bricks. Gravel is not acceptable.
  - This requirement is met throughout the site.
- b. Durable, porous pavement techniques are encouraged, and the overall coverage of pavement on all sites should be minimized so as to reduce stormwater runoff.
  - This requirement is met.

**22. Pedestrian Facilities:**

- a. Public sidewalks or multipurpose paths shall be required along all street frontages, per Village standards.
  - This requirement is met.
- b. Paved pedestrian connections are required between all street frontage pedestrian facilities and public doorways. Said connections shall be a minimum of 5 feet wide.
  - This requirement is met.
- c. Where pedestrian connections cross vehicle circulation areas, a crosswalk clearly delineated by color and/or texture is required.
  - This requirement is met.

**23. Traffic Circulation:**

- a. Traffic circulation patterns shall be safe and understandable by vehicle operators, as determined by the Plan Commission.
  - This requirement is met, including the minimum 25-foot deep entry before encountering a vehicle exiting a parking space.
- b. Traffic patterns which are determined as too complicated by the Plan Commission shall be prohibited. Complications may be identified due to steep grades, inadequate throat depths, offset intersections, too many intersections within a particular area, dangerous and conflicting traffic movements, movements compromised by limited visibility, or restricted turning radii for the types of vehicles likely present on the site.
  - This requirement is met.
- c. No traffic circulation shall be permitted within 10 feet of a street or drive right-of-way or easement, nor within 5 feet of any other property line, except within the downtown area, or as approved as through the conditional use process.
  - This requirement is met.

- d. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding limitations on drives located adjacent to street rights-of-way.
  - This requirement is not met due to the need to access the car wash, and to route fuel delivery vehicles around the site. At the May meeting, the Plan Commission this proposed drive location is acceptable for **waiver**.

#### **24. Parking:**

- a. All parking areas located within required principal building setback areas shall be visually screened from streets by a continuous landscaped hedge, fence, wall or berm with a minimum height of 40 inches over the elevation of the adjacent portion of the parking lot at time of installation. Gaps in this hedge are permitted for pavement approved as part of the site design.
  - This requirement is met.
- b. Within the downtown area, and particularly along Main Street and the commercially developed portions of intersecting streets, parking shall not be located along a street frontage unless an exception is granted through the conditional use process.
  - This standard is not applicable to the subject property.
- c. Within the CTH ID corridor between STH 78 and USH 151, refer to subparagraph 4.c. above regarding the prohibition of parking adjacent to street rights-of-way.
  - This requirement is met, there is no parking adjacent to street rights-of-way.
- d. Bicycle parking shall be provided at a rate of one bicycle space for every 10 vehicle parking spaces up to a total of 20 bicycle spaces.
  - This requirement is met.

#### **25. Building Foundation Landscaping:**

- a. A minimum 10-foot wide landscaping bed or planter shall be provided along at least 50% of each wall facing a street, drive or parking area, except within the downtown area.
  - This requirement is not quite met on the front façade, where the planter beds abut about 46% of the east wall, and is not met on the north side of the building, to accommodate Fire Department dimensions. At the May meeting, the Plan Commission indicated these were acceptable for a **waiver**.
- b. This bed or planter shall be located adjacent to or within 10 feet of the building foundation.
  - This requirement is met.
- c. This bed or planter shall be landscaped appropriately as determined by the Plan Commission.
  - This requirement is met.

#### **26. Street Frontage Landscaping:**

- a. A minimum 10-foot wide landscaped area shall be provided adjacent to the frontage of all streets and drives, except within the downtown area.
  - This requirement is met.

- b. This area shall be landscaped appropriately as determined by the Plan Commission. At minimum, one canopy-type street tree (maple, oak, hickory, ginkgo, honey locust or similar species) shall be required for every 50 feet of street or drive frontage, except within the downtown area. Said trees shall be a minimum 2-inch to 2.5-inch caliper.
  - This requirement is met, as depicted on the proposed Landscaping Plan.

**27. Parking Lot Landscaping:**

- a. Parking lot landscaping shall comply with the requirements of §17.136
  - This requirement is met, as depicted on the proposed Landscaping Plan.
- b. Subsection 24.a., above, shall also apply along street and drive frontages.
  - This requirement is met, as depicted on the proposed Landscaping Plan.
- c. Subsection 24.c., above, shall also apply along CTH ID.
  - This requirement is met, as depicted on the proposed Landscaping Plan.

*Note that all landscaping will be inspected for compliance in the spring of 2021. All landscaping depicted on the Landscaping Plan shall be permanently maintained, and shall be replaced within one year where plants die, are diseased, or are removed.*

**Village Planner's Recommendations:**

I recommend the Plan Commission approve the following:

1. Conditional Use Permits for In-Vehicle Sales and Service for the fuel pumps and car wash; and for Outdoor Display limited to the propane cage and ice machines on the south side of the store building;
2. Site Plan packet; and
3. Design Review as submitted in the May packet, including waivers from the Design Review requirements for:
  - a. 10a: Use of plain slab man doors the store and car wash buildings as depicted;
  - b. 11a: Use of spandrel windows as depicted;
  - c. 12a: Use of roof lower than mechanicals on west side of store, as depicted;
  - d. 12d: Use of screen walls on west side of store roof, as depicted;
  - e. 16b: Use of flat roof on car wash building and on canopy, rather than matching store pitch, as depicted;
  - f. 23d: Use of drive between CTH ID and store building to accommodate drive-around requirements of Fire Department and fuel truck movements, as depicted;
  - g. 25a: Planter bed of less than 50% of wall area on front and north side of store, and on west side of car wash building, as depicted.
4. Additional Design Review and Conditional Use Requirements:
  - a. Should additional large evergreen landscaping be required on the west side of the store? See discussion in 12a, on page 6, above.
  - b. Should rear appurtenances be painted to match the building?
  - c. Any other requirements identified by the Plan Commission.



Village of Mount Horeb Zoning Department  
 138 E Main Street  
 Mount Horeb, WI 53572  
 Phone (608) 437-6884/Fax (608) 437-3190  
 mhinfo@mounthorebwi.info www.mounthorebwi.info

**Zoning Amendment/  
 Conditional Use Permit  
 Application & Fees**

The undersigned owner (agent) of the property herein described hereby requests to:

be granted the following specific conditional use: Add solar panel on yard east of building

amend the Mount Horeb Zoning Ordinance as follows: \_\_\_\_\_

**Applicant**

Name: Stan Olson  
 Address: 5255 Dodge Rd  
 City/St/Zip: Rodgenville WI 52533 Phone: 608 437 3666

1) Address of property: 214 E Lincoln Mt Horeb  
 Tax Parcel ID Number: 157 CSM#: \_\_\_\_\_  
 Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
 Zoning: R1 R2 R3 R4 PO NB PB CB P1 I1 I2 A1 CO1 PD1 (circle one)

- 2) Attach a plan, survey, map, or plat identifying the property under consideration
- 3) Application and plans must be submitted a minimum of 10 days prior to the Plan Commission meeting (meeting held on the 4<sup>th</sup> Wednesday of each month)

Applicant's interest in the property: Owner

Signature: [Signature] Date: 5-8-20

Date: \_\_\_\_\_ Fee: \_\_\_\_\_ Check# \_\_\_\_\_

Date of Plan Commission approval: \_\_\_\_\_ Date of Village Board approval: \_\_\_\_\_

Conditions: \_\_\_\_\_

P 48.11 yd

A 0.02591 ac

idge State Trail

Military R

7.66 yd

48.11 yd

0.02591 ac

7.63 yd

E Lincoln St

E Lin

Center Ave

Center Ave

Google

Ave

Ave



Village of Mount Horeb Zoning Department  
 138 E Main Street  
 Mount Horeb, WI 53572  
 Phone (608) 437-6884/Fax (608) 437-3190  
 mhinfo@mounthorebwi.info www.mounthorebwi.info

**Zoning Amendment/  
 Conditional Use Permit  
 Application & Fees**

The undersigned owner (agent) of the property herein described hereby requests to:

- be granted the following specific conditional use: INSTALL A 4 FOOT TALL EXTRA Q. PICKET WOOD FENCE OR B. CHAIN LINK FENCE BEGINNING AT THE SW SIDE OF THE DECK, MOVING ALONG THE PROPERTY LINE ON THE NORTH & WEST SIDE OF THE PROPERTY AND ENDING ON THE N/E CORNER OF THE HOUSE NEAR THE GARAGE. ② INSTALL AN Q. 8'X10' OR A 10'X10' SITED
- amend the Mount Horeb Zoning Ordinance as follows: ON EXISTING CONCRETE PAD ON N/E CORNER OF THE HOUSE

**Applicant**

Name: SANDRA & MICHAEL BARCHELAK  
 Address: 800 BROOKSTONE CREST  
 City/St/Zip: MOUNT HOREB WI 53572 Phone: 608-509-8781  
708-539-5494

- 1) Address of property: 800 BROOKSTONE CREST  
 Tax Parcel ID Number: 157 0606 14 / 2334 / CSM#: \_\_\_\_\_  
 Lot: 04 Block: \_\_\_\_\_ Subdivision: BROOKSTONE RIDGE  
 Zoning: R1 R2 R3 R4 PO NB PB CB P1 I1 I2 A1 CO1 PD1 (circle one)
- 2) Attach a plan, survey, map, or plat identifying the property under consideration
- 3) Application and plans must be submitted a minimum of 10 days prior to the Plan Commission meeting (meeting held on the 4<sup>th</sup> Wednesday of each month)

Applicant's interest in the property: OWNERS / RESIDENTS

Signature: [Signature] Date: 05/06/20

Date: \_\_\_\_\_ Fee: \_\_\_\_\_ Check# \_\_\_\_\_

Date of Plan Commission approval: \_\_\_\_\_ Date of Village Board approval: \_\_\_\_\_

Conditions: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

## **ZONING CODE 17.29 APPLICATION AND FEES**

(1) GENERAL. Application for a zoning ordinance amendment under Section 17.28 of this code or a conditional use permit under Article E of this code, or an application to amend the regulations of this code, shall be made on Village forms and shall be filed by or on behalf of the owner or owners of the property affected. Except as provided in subsection (2) following, each application shall be accompanied by a fee of \$150, payable to the Village. There shall be no such fee, however, in the case of applications filed in the public interest by members of the Village Board or by the Plan Commission.

(a) PLANNED DEVELOPMENT DISTRICT FEES: Each application to amend the zoning ordinance to create a planned development district of this code, or an application for a conditional use permit in a planned development district, shall be accompanied by a \$200 fee.

(b) PROFESSIONAL FEES. In addition to the fees required under subsections (1) and (2) above, each applicant under this section shall reimburse the Village for all professional fees, including reasonable engineering, planning consultant, and legal review fees, incurred by the Village in connection with such application.

### **(2) REAPPLICATION.**

(a) If a property owner or other applicant withdraws a zoning ordinance amendment application or conditional use permit application after the Plan Commission has moved to recommend that the Village Board deny such application, or to recommend that such application be approved but with modifications, restrictions, or conditions, no subsequent application for the same zoning ordinance amendment or conditional use permit shall be considered for a period of one year following the said Plan Commission recommendation.

(b) Following the denial of an application for a zoning ordinance amendment or conditional use permit, the property owner or other applicant may not reapply for the same zoning ordinance amendment or conditional use permit for a period of one year from the date the prior application was denied by the Village Board.

(c) Subparagraphs (a) and (b) above notwithstanding, a property owner or other applicant may reapply for the same zoning ordinance amendment or conditional use permit within the prohibited one year period if a majority of the Village Board first determines that circumstances or conditions have changed which would warrant a reconsideration of the matter.

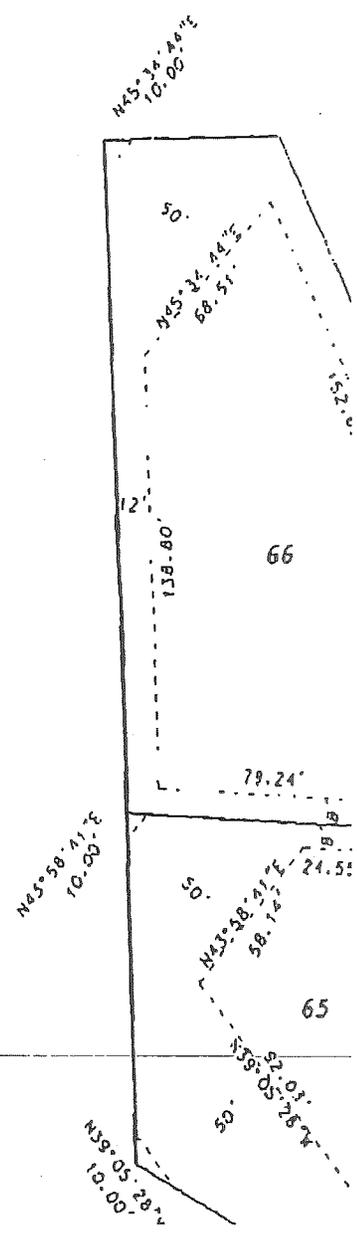
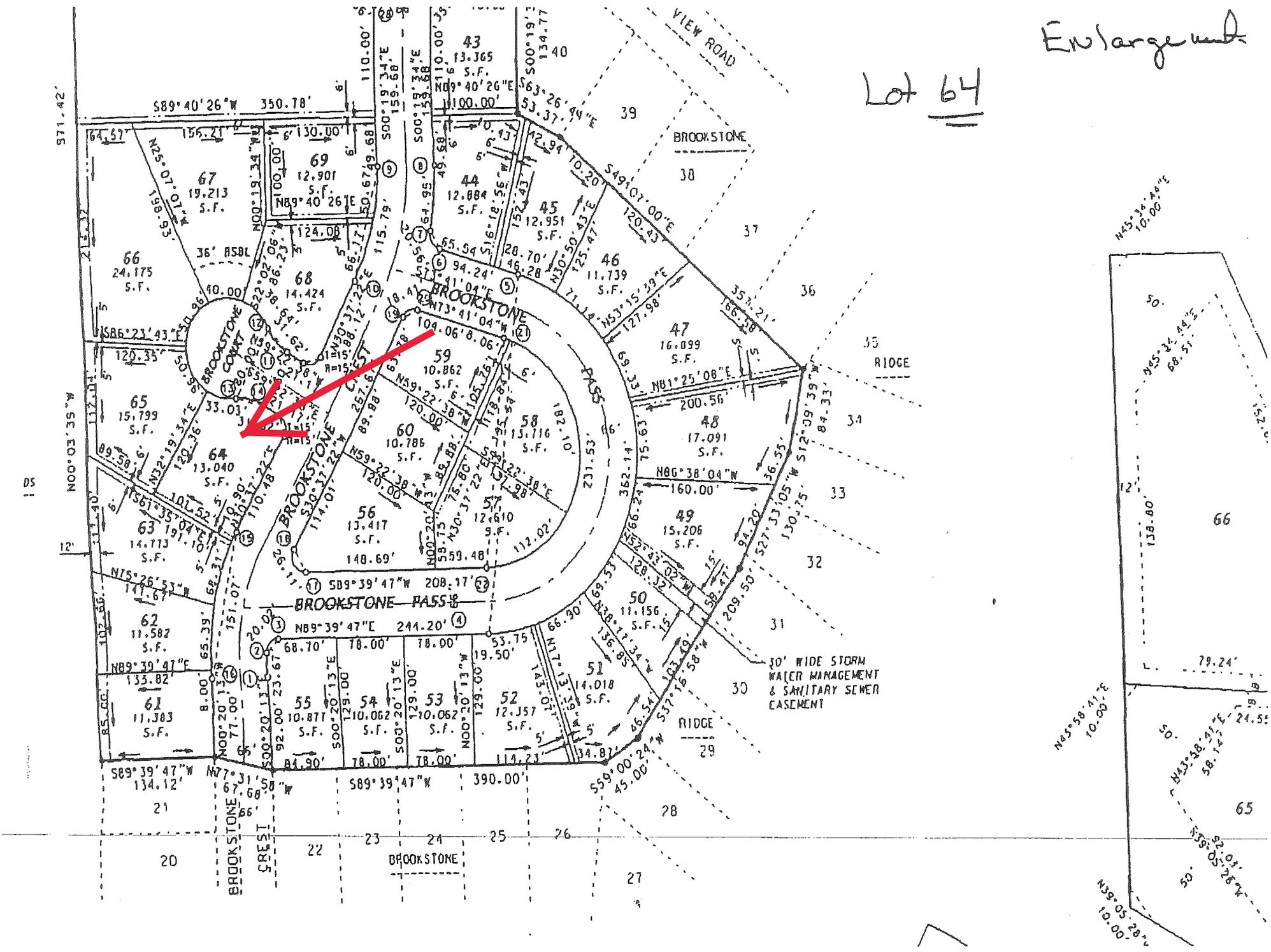
## **ZONING CODE 17.60 VALIDITY OF CONDITIONAL USE PERMIT**

When a conditional use application has been approved, such approval shall become null and void within twelve (12) months of approval unless the use is commenced or the current owner possesses a valid building permit under which construction is commenced within six (6) months of the date of the building permit issuance. The Board may extend such permit for justifiable cause, if application is made to the Village Board before said permit expires.



Enlarge unit

Lot 64



## FENCE ORDINANCE EXERPTS:

Areas in red added July 2019 Ordinance 2019-03

### 17.16 ACCESSORY BUILDINGS AND USES

(8) LOCATION ON CORNER LOTS. The following modifications may apply to Accessory Structures in the front yards of corner lots in any Residential District with the granting of a Conditional Use Permit:

- (a) Sheds or other storage buildings proposed to be located within the required front yard setback if the structure is a minimum of 20 feet from all rights-of-way. Shed structures enabled by this modification shall match the architecture, materials, and colors of the principal structure and be located entirely on a concrete pad that connects directly to a walk or driveway.
- (b) Decks proposed to be located within the front yard, if the entire structure is located a minimum of 30 feet from all rights-of-way.
- (c) Fences proposed to be located behind the front planes of the principal structure facing the front yards may be exempt from the prohibition against chain link fences in 17.93(d).

Green area is being questioned.

### 17.93 - LOCATION AND HEIGHT OF FENCES AND HEDGES.

- (a) A fence or wall may be erected, placed, or maintained along a lot line on residentially zoned property or adjacent thereto to a height not exceeding 6 feet above the ground level, except that no fence or wall that is located in a required front or corner side yard shall exceed a height of 42 inches. Where such lot line is adjacent to a non-

residentially zoned property, there shall be a 10-foot limit on the height of a fence or wall along such lot line.

- (b) No fence or wall shall be erected, placed or maintained along a lot line on any business or industrially zoned property, adjacent to a residentially zoned property, to a height exceeding 10 feet.
- (c) In any residential district, no fence or wall shall be erected, constructed, or maintained to height exceeding 3 feet above the street grade nearest thereto, within 25 feet of the intersection of any street lines or of street lines project.
- (d) Only decorative fences are allowed in front or corner side yards other than corner lots when a Conditional Use Permit has been granted per 17.16(8).
- (e) All hedges are permitted, except that no hedge may be established and maintained so as to create a traffic visibility hazard for vehicles or pedestrians as determined by the Zoning Administrator or designee. Hedges that may adversely impede visibility which are located near public and private streets, drives, alleys, driveways, walks, paths, or other vehicle or pedestrian facilities, shall be trimmed to a height of 30 inches or less above the grade of the affected vehicle or pedestrian facility.



# TOWN OF BLUE MOUNDS

• DANE COUNTY, WISCONSIN •

ORGANIZED APRIL 4, 1848

10566 Blue Vista Road  
Blue Mounds, WI 53517  
608-437-8722

[townofbluemounds@gmail.com](mailto:townofbluemounds@gmail.com)

April 29, 2020

Per Wis Statutes 60.61, we are required to make notice to neighbors of a property that is scheduled to be rezoned. You are receiving this notice because you are adjacent or near a property being rezoned by Z&L Properties, LLC. d/b/a Premier Building Solutions, which is described as follows:

Parcel #0606-134-8701-0

#### Parcel Description:

SEC 13-6-6 PRT NW1/4SE1/4 DESCR AS COM AT S1/4 COR OF SD SEC 13 TH N00DEG14'52"W ALG W LN OF SE1/4 OF SEC 13 1329.14 FT TO POB TH N00DEG14'52"W 98.44 FT TH N89DEG43'57"E 33.95 FT TO ELY R/W LN OF CTH JG TH N14DEG55'20"E ALG SD R/W LN 103.61 FT (REC AS N15DEG28'11"E 103.89 FT) TH N00DEG16'03"W ALG SD R/W LN 369.47 FT TO SLY R/W LN OF USH 18/151 TH N64DEG54'35"E ALG SD R/W LN 41.92 FT (REC AS N64DEG58'08"E 41.93 FT) TH N64DEG43'03"E ALG SD R/W LN 618.15 FT (REC AS N64DEG42'45"E 618.18 FT) TH N59DEG00'25"E (REC AS N59DEG00'07"E) ALG SD R/W LN 100.50 FT TH N64DEG42'32"E (REC AS N64DEG42'45"E) ALG SD R/W LN 646.64 FT TO E LN OF NW1/4SE1/4 OF SEC 13 TH S00DEG17'41"E ALG E LN OF NW1/4SE1/4 OF SEC 13 1164.54 FT TH S89DEG25'20"W 1332.26 FT TO POB CONT 25.43 ACRES SUBJ TO CTH JG R/W

The Land Use Committee will make a site visit to the property May 2, 2020.

The petition is to rezone the property, a total of approximately 25.43 acres from A-1(EX) Exclusive Agriculture District (Legacy Zoning) to be rezoned to COM. This parcel is within the Town of Blue Mounds commercial corridor.

This petition complies with the 1980 Land Use Plan, the 2017 Zoning Code, and the 2017 Comprehensive Plan of the Town of Blue Mounds.

If you have questions, you may call 437-8722. This petition will be on the May 11, 2020 7:00 p.m. Town Board meeting agenda for a public hearing.

**From:** Curt Winter <[dtownofbluemounds@gmail.com](mailto:dtownofbluemounds@gmail.com)>

**Sent:** Monday, May 11, 2020 9:53 AM

**To:** Nic Owen <[Nic.Owen@mounthorebwi.info](mailto:Nic.Owen@mounthorebwi.info)>

**Subject:** Re: Rezoning

Good Morning Nic-

This parcel is owned by the School District and is being purchased by Z&L Properties, d/b/a Premier Building Solutions. This is a chicken or the egg scenario where the bank is seeking assurance the rezoning can be done. It is planned to be developed as a commercial park of office and light industrial type applications.

I am expecting many of the final details to be put in place tonight at our regular meeting. Once all details in place and ownership has been transferred, the rezoning process will be started and followed through.

Curt Winter  
Deputy Clerk/Treasurer Town of Blue Mounds  
[dtownofbluemounds@gmail.com](mailto:dtownofbluemounds@gmail.com)  
608-437-8722

# Future Land Use Village View

## Mount Horeb Comprehensive Plan

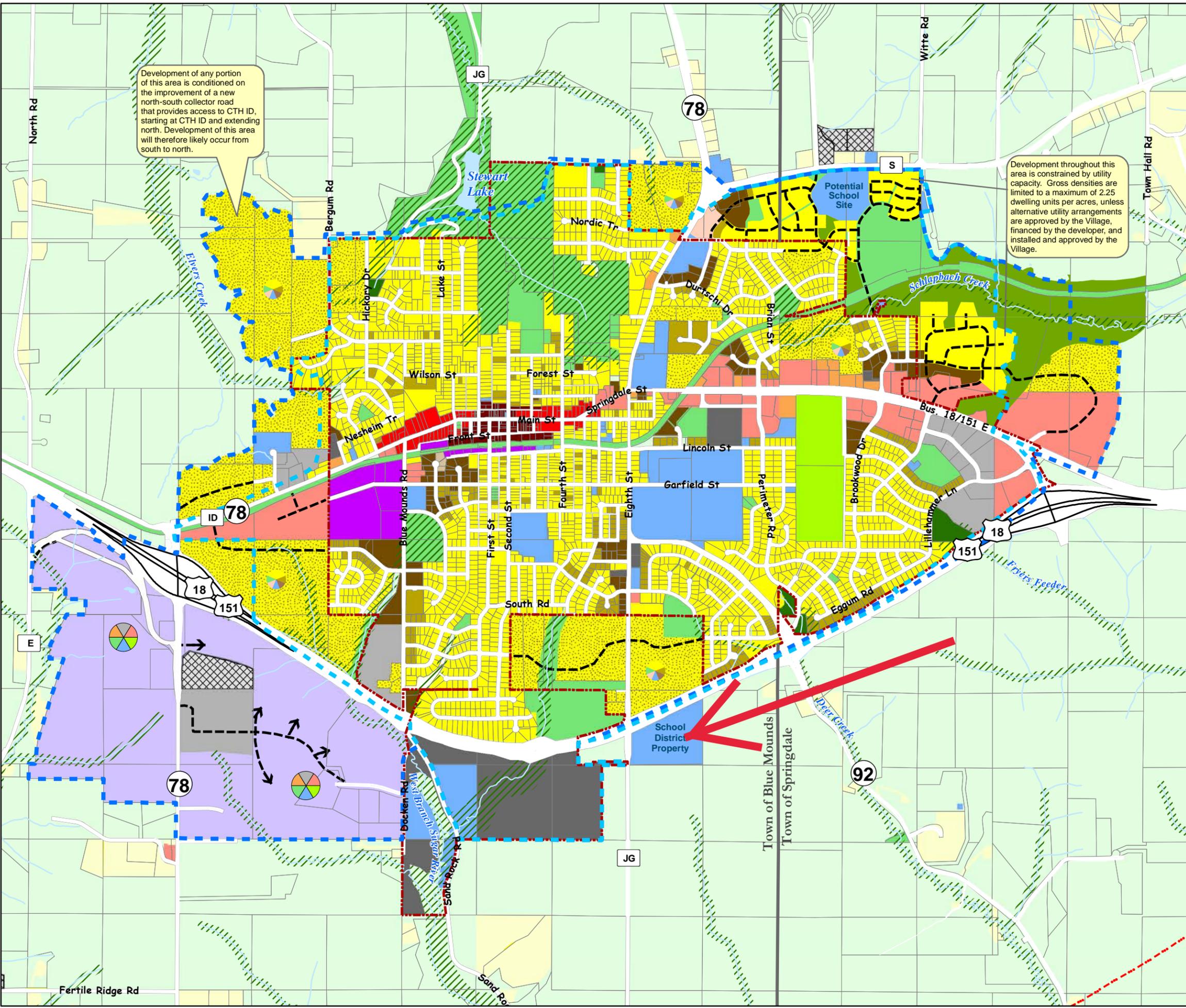
- Village of Mount Horeb Boundary
- Town Boundaries
- Extraterritorial Jurisdiction Boundary
- Current Urban Service Area Boundary
- Potential Future Urban Service Area Boundary

- Right of Way
- Potential Future Roads
- Surface Water

- Land Use Categories
- Agriculture and Vacant
  - Single-Family Residential (Unsewered)
  - Single-Family Residential (Sewered)
  - Two-Family Residential
  - Multi-Family Residential
  - Elderly Housing Residential
  - Planned Neighborhood



- Central Business
  - Main Street Business
  - Neighborhood Business
  - Planned Business
  - Recreation Business
  - Planned Office
  - Planned Mixed Use
  - Planned Business Park
  - Planned Industrial
  - General Industrial
  - Government and Institutional
  - Extraction
  - Public Park and Open Space
  - Conservancy
  - Environmental Corridor
- Planned Mixed Use may include:
1. Planned Industrial
  2. Planned Business
  3. Multi-Family Residential
  4. Government and Institutional
  5. Public Park and Open Space
  6. Planned Office
- 
- Business Park may include:
1. Planned Industrial
  2. Planned Business
  3. Recreation Business
  4. Government and Institutional
  5. Public Park and Open Space
  6. Planned Office
- 



## TABLE OF ZONING USES -- DANE TOWN ZONING

P = Permitted. Blank Cell = Prohibited. C = Conditional Use.

AG = Agricultural EA = Exclusive AG AE = Ag Enterprise RC = Resource Conservancy

NBR = Nature-Based Recreation PRD = Planned Rural Development **COM = Commercial**

IND = Industrial NR = Neighborhood Retail RCOM = Recreational Commercial

RBB = Rural Based Business RUC = Rural Community PUD = Planned Unit Develop.

SFR = Single Family Residential MFR = Multi-Family Residential

All uses must meet primary and secondary standards

USES ▼ DISTRICTS ►	AG	EA	AE	RC	NBR	PRD	COM	IND	NR	RCOM	RBB	RUC	PUD	SFR	MFR
Accessible elements. [Sec. 1.0601] [Def. 1.022 (1)]	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Accessory structure, detached. [Sec. 1.0602] [Def. 1.022 (3)]	P	P	P	C	C	P	P	P	C	C	C	C	C	P	P
Adult Entertainment. [Sec. 1.0603] [Def. 1.022 (6)]								P							
Agricultural Tourism. [Sec. 1.0603] [Def. 1.022 (10)]	P	C	P	C	C	C					P	P	P		
Agriculture incubator. [Def. 1.022 (13)]	P	P	P	C	C		C	C			P	P	P		
Agriculture. [Sec. 1.0604]	P	P	P	C	C	P	P			C	C	C	C		
Agriculture-related business. [Def. 1.022 (14)]	P	C	P				P	P		C	P	P	P		
Airports and landing strips. [1.0617; 1.0604r]	C	C	C				C	C	C				C		
Animal grooming, veterinary clinic. [Sec. 1.0605]	C	C	C				P		C	C	C	C	C		
Animal sanctuary. [Sec. 1.0606] [Def. 1.022(16)]		C					C	C		C	C	C	C		
Animal Units; non-domestic animals on residential parcels. [sec. 1.0607].						P				P			P	P	
Aquaculture facility. [Sec. 1.0608] [Def. 1.022 (17)]	C	P	P				P	P			P	C	C		
Art gallery. [Sec. 1.0609] [Def. 1.022 (18)]			C				P	P	P	C	C	P	P		
Art studio. [Sec. 1.0609] [Def. 1.022 (19)]			C				P	P	P	C	C	P	P	C	C
Auction facility, flea market facilities. [Def. 1.022 (20)]			C				P			C	C	C	C		
Auto body, vehicle repair and maintenance. [Sec. 1.0610]							C	C			C	C	C		

USES ▼ DISTRICTS ▶	AG	EA	AE	RC	NBR	PRD	COM	IND	NR	RCOM	RBB	RUC	PUD	SFR	MFR
Bed and breakfast establishment. [Sec. 1.0611] [Def. 1.022(21)]	C	C	C	C						C	C	C	C	C	
Biofuel manufacturing. [Def. 1.022 (22); 1.0611r]	C	C	C				C	P			C	C	C		
Building material sales, indoor storage only.							P	P			C	C	C		
Building material sales, outdoor storage.			C				C	P			C	C	C		
Bulk storage in excess of 50,000 gal.							C	C					C		
Campground. [Sec. 1.0612] [Def. 1.022 (28)]					C		C			C	C		C		
Camping.	P		P	P	P	P	P			P	C		C		
Cemetery, mausoleum.							P					P	P		
Child care center, 8 or fewer people. [Sec. 1.0613] [Def. 1.022 (30)]	P	C	C				C	C	P	P	P	P	P	C	C
Child care center, 9 or more people. [Sec. 1.0613] [Def. 1.022 (30)]	C	C	C				C	C	C	C	C	C	C	C	C
Commercial poultry and egg production, beekeeping in residential areas. [Sec. 1.0630]	P	P	C				C			C	C	C	C		
Community living arrangements for 9 or fewer people. [Sec. 1.0614] [Def. 1.022 (32)]	P											P	P	C	P
Community living arrangements for more than 9 people. [Sec. 1.0614] [Def. 1.022 (32)]	C											C	C	C	C
Drive-Up Window.			C				C	C	C		C	C	C		
Dwelling used temporarily during construction. [Sec. 1.0616] [Def. 1.022 (2)]	C	C											P	C	C
Eating establishment without alcohol, liquor, or malt beverages.							P	C	C	C	C	C	P		
Eating establishment with alcohol, liquor, or malt beverages.							C	C	C	C	C	C	C		
Elementary Schools.			C				P					P	P	C	C
Equestrian facilities. [1.0638a]	C	C	C	C	C	C	C			P	P	C	P		
Fabrication and assembly of parts.							C	P			C	C	C		
Exhibition facilities, including animal and commercial exhibitions	C		P				P	C		C			C		
Farm Residence [Def. 1.022 (45a)][1.0617r]	P	P													
Food processing facility. [Sec. 1.0618]	C	C	P				P	P		P	C	C	C		
Gasification energy system. [Secs. 1.0617 and 1.0633 (5)]	C	C	C				C	C			C		C		

	AG	EA	AE	RC	NBR	PRD	COM	IND	NR	RCOM	RBB	RUC	PUD	SFR	MFR
<b>USES ▼ DISTRICTS ▶</b>															
Health care clinics.			C				P		C	C	C	C			
Home-based business. [Sec. 1.0620] [Def. 1.022 (51)]	P	P	P									P	C	P	P
Hospitals, nursing homes and extended care facilities							C	C					P		
Hotel, motel. [Def. 1.022 (52), (75)]							P			C	C	C	C		
Junkyard. [Sec. 1.0621]. [Def. 1.022 (55)]								C					C		
Kennel. [Sec. 1.0622] [Def. 1.022 (56)]	C	C	C				C			C	C	C	C		
Lab or research facilities. [Secs. 1.0617 and 1.0622r]	C	C	C				C	P			C	C	C		
Landfill, clean. [Sec. 1.0623]. [Def. 1.022 (58)]								C							
Landfill, sanitary. [Sec. 1.023] [Def. 1.022 (59)]								C							
Landscaping and general construction contractor							P	C			C	C	P		
Landscaping retail center. [Def. 1.022 (60)].			C				P	C		C	C	C	P		
Library, museum.							P					P	P		
Livestock harvest facility. [Sec. 1.0624] [Def. 1.022 (62)]	C	C	C				C	C		C	C		C		
Lodging house. [Def. 1.022 (64)]		C	C	C		C	C			C	C	C	C		
Manufacturing and production of hazardous materials.			C				C	C			C	C	C		
Metal and wood fabrication. [Sec. 1.0625]							C	P					C		
Mobile home park and mobile homes. [Sec. 1.0626]													C		C
Mobile tower siting. [1.0617]	C	C	C	C	C	C	C	C	C	C	C	C	C		
Multiple family dwelling, 2 units.												C	C	C	P
Multiple family dwelling, 3 or more units.												C	P	C	C
Nonmetallic mining site, between one acre and 15 acres, not exceeding 24 months. [Sec. 1.056, 1.0617 and 1.0627] [Def. 1.022 (76)]	C	C	C				C	C		C	C	C	C		
Nonmetallic mining site, less than one acre, not exceeding 24 months. [Secs. 1.056, 1.0617 and 1.0627] [Def. 1.022 (77)]	C	C	C				C	C		C	C	C	C		
Nonmetallic mining site, one acre or greater. [Secs. 1.056, 1.0617 and 1.0628] [Def. 1.022 (77)]	C	C	C			C	C	C							

USES ▼ DISTRICTS ►	AG	EA	AE	RC	NBR	PRD	COM	IND	NR	RCOM	RBB	RUC	PUD	SFR	MFR
Office buildings two or fewer stories in height			C				P	P		C	C		P		
Office buildings more than two stories in height			C				C	C		C	C		P		
Outside product or equipment testing, truck terminals, refining, distribution center. [Def. 1.022 (117)]							C	C			C	C	C		
Places of worship.			C				P		P	P	P	P	C	C	C
Planned Unit Development. [Sec. 1.057].							P	P		P	P	P	P		
Ponds. [Sec. 1.0629] [Def. 1.022 (84)]	P	P	P	P	P	P	P	P	C	C	C	P	C	C	C
Poultry and Egg Production; Beekeeping, home scale [sec. 1.0630]	P	P											P	P	P
Production facilities such as bakeries, dry cleaners, commercial kitchens, laundries, and other facilities producing or processing merchandise for off-premises retailing.							P	P			C		C		
Production facilities such as stamping plants, forges, assembly plants, and other fabrication operations			C				C	P			C	C	C		
Recreation facility, indoor. [Def. 1.022 (91)]			C				P	C	C	P	C	C	P		
Recreation facility, outdoor. [Sec. 1.0631] [Def. 1.022 (93)]	C		C	C	C		C		C	C	C	C	P		
Recreation facility, motor sports			C							C			C		
Recycling center, waste transfer station. [Def. 1.022 (95)]							C	C					C		
Rendering plant facility. [Sec. 1.0632] [Def. 1.022 (96)]								C							
Renewable energy structures [Secs. 1.0617 and 1.0633]	C	C	C	C	C	C	C	P	P	C	C	C	C	C	C
Resort. [Sec. 1.0634]							C			P	C	C	C		
Retail and service establishment, outdoor. [Def. 1.022 (98)]							C		C	C	C	C	C		
Retail establishment and service, indoor. [Def. 1.022 (98)]			C				P		P	C	C	C	C		
Roadside stand and farmer's market. [Sec. 1.0635] [Def. 1.022 (99)]	P	P	P	C		P	P		P	P	P	P	P		

	AG	EA	AE	RC	NBR	PRD	COM	IND	NR	RCOM	RBB	RUC	PUD	SFR	MFR
<b>USES ▼ DISTRICTS ▶</b>															
Seasonal storage of recreational equipment and motor vehicles. [Sec. 1.0637]	C	C	C				C	P		P	C	C	C		
Secondary schools, colleges, universities, technical institutes, and related facilities.							P					P	P	C	C
Single family dwelling.	P											P	P	P	C
Solar energy system where electricity is used on premises. [Sec. 1.0633 (3)]	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Solar energy system where electricity is used off the premises. [Sec. 1.0633 (3)]	C	C	C	C	C	C	P	P	C	C	C	C	P	C	C
Sport shooting range. [Sec. 1.0638] [Def. 1.022 (106)]	C		C	C	C		C	C		C	C		C		
Stables for farm horses [1.0638a]	P	P	P		C	C				C	C	C	C		
Stables for boarded or show horses [1.0638a].	P	C	C							C	C	C	C		
Storage yard. [Sec. 1.0639]							C	C			C	C	C		
Tannery. [Def. 1.022 (112)]								C					C		
Temporary secondary dwelling for dependency living arrangements or agricultural use. [Sec. 1.0640] [Def. 1.022 (2), (39) and (40)]	C	C	C									C	C	C	C
Theaters for motion pictures or live performances of plays, music, comedy and other lively arts, culture or education, not falling within the definition of adult entertainment.			C				P	C				C	P		
Transportation, communications, pipeline, electric transmission, utility, or drainage uses. [Secs. 1.0617, 1.0640m]	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
Utility uses other than generation facilities or substations [Secs. 1.0617, 1.0640r]	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
Utility uses: small generation facilities, substations	C	C	C			C	p	P	C	C	C	C	C	C	C
Warehousing, self-storage facility, or mini-warehousing. [Sec. 1.0642]. [Def. 1.022 (74)]							C	P			C	C	C		
Water distribution, wholesale, processing, and treatment. [Sec. 1.0643]			C				P	P			C	C	C		
Water extraction and removal. [Sec. 1.0645] [Def. 1.022 (122)]	C	C	C				C	C			C		C		

Wholesale, distribution facility. [Sec. 1.0645].						<b>C</b>	<b>P</b>					<b>C</b>		
Wind energy systems, 1.0617 and 1.0633.	<b>C</b>													

Village of Mount Horeb  
Building Inspection Dept.

Building Inspector's Report  
April 2020

Month to Date

- 1) 15 Building permits have been issued for general construction since March 1<sup>st</sup>.
- 2) 1 new UDC permit

Year to Date

- 1) 56 General permits since Jan. 1<sup>st</sup>
- 2) 3 New UDC single family homes since Jan. 1<sup>st</sup>
- 3) 2 New Duplex

Large Commercial projects currently active

- 1) Co-Op Addition/remodel
- 2) Six Unit Apartment Bldg. Eastwood Way

Respectfully submitted

Dave Geraths  
Building Inspector